

**City of Albany  
Board of Zoning Appeals  
Application**

This application must be filed with the Department of Development and Planning, Land Use Division at 200 Henry Johnson Boulevard, Albany, New York 12206, (518-445-0754). Applications are not considered to be complete until all supplemental documents and fees are received. (See attached instructions.) Planning Office staff shall determine the completeness of applications before scheduling the case before the Board of Zoning Appeals. Notice of public hearing shall be mailed to the applicant, adjacent property owners, and other interested parties. **The applicant or his/her representative shall appear at the public hearing to substantiate the application.**

REGARDING THE PREMISES AT 100 Watervliet Avenue  
 APPLICANT Honest Weight Food Co-op c/o Hershberg & Hershberg  
 ADDRESS 18 Locust Street CITY Albany STATE NY ZIP 12203  
 PHONE 518-459-3096 FAX NUMBER 518-459-5683  
 AUTHORIZED AGENT Daniel Hershberg, Hershberg & Hershberg  
 AFFILIATION Engineer for the Applicant  
 ADDRESS 18 Locust Street CITY Albany STATE NY ZIP 12203  
 PHONE 518-459-3096 FAX NUMBER 518-459-5683  
 PROPERTY OWNER Honest Weight Food Co-op  
 ADDRESS 484 Central Avenue CITY Albany STATE NY ZIP 12206  
 PHONE 518-482-1167 Ext. 116 FAX NUMBER \_\_\_\_\_  
 OTHER TO BE NOTIFIED \_\_\_\_\_  
 ADDRESS \_\_\_\_\_ CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_  
 PHONE \_\_\_\_\_ FAX NUMBER \_\_\_\_\_

REQUEST:    SPECIAL USE PERMIT    INTERPRETATION  
X USE VARIANCE X PARKING LOT PERMIT  
X AREA VARIANCE    OTHER \_\_\_\_\_

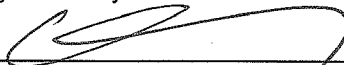
ZONING CLASSIFICATION R-2A TAX LOT ID NUMBER 54.77-1-19  
 EXISTING USE / # OF UNITS Warehouse and dance studio  
 PROPOSED USE / # OF UNITS 30,706+/- SF Grocery Store, Parking Lot for 156 cars  
 OCCUPANCY STATUS (FULLY OCCUPIED / PARTIALLY OCCUPIED / VACANT) Vacant  
 CITY WARD 12th NEIGHBORHOOD DESIGNATION Beverwyck or Upper Washington

REQUESTED PUBLIC HEARING DATE: April 25, 2012  
 PROJECT TIME FRAME: Complete by 12/1/13 TOTAL PROJECT COST: \$5,700,000


Is the property within 500 feet of a municipal boundary, State or County property, road, park or facility, or other recreation area? Yes No If yes, the submission will require review by the Albany County Planning Board.

Does any state officer or any officer or employee of the City of Albany or County of Albany have any affiliation with or interest in the applicant or this application? Yes No If yes, set forth the name, address, and nature and extent of the affiliation or interest of an officer / employee.

I, the undersigned owner, hereby authorize the applicant to bring the application herein before the Board of Zoning Appeals of the City of Albany.

SIGNED  DATE March 29, 2012  
 Engineer for the Applicant

I, the undersigned applicant, hereby state that the information and facts set forth in this application are true to the best of my knowledge and belief.

SIGNED  DATE March 29, 2012  
 Engineer for the Applicant

# SHORT ENVIRONMENTAL ASSESSMENT FORM

## INSTRUCTIONS:

In order to answer the questions in this short EAF it is assumed that the preparer will use currently available information concerning the project and the likely impacts of the action. It is not expected that additional studies research or other investigations will be undertaken.

## ENVIRONMENTAL ASSESSMENT

1. Will the project result in a large physical change to the project site or physically alter more than 10 acres of land?.....  Yes  No
2. Will there be a major change to any unique or unusual landform found on this site?.....  Yes  No
3. Will project alter or have a large effect on an existing body of water?.....  Yes  No
4. Will project have a potentially large impact on groundwater quality?  Yes  No
5. Will project significantly affect drainage flow or air quality?.....  Yes  No
6. Will project affect any threatened or endangered plant or animal species...  Yes  No
7. Will project result in a major adverse impact on air quality?.....  Yes  No
8. Will project have a major effect on visual character of the community or scenic views or vistas known to be or important to the community?...  Yes  No
9. Will project adversely impact any site or structure of historic, prehistoric or paleontological importance or any site designated as a critical environmental area by a local agency?.....  Yes  No
10. Will project have a major effect on existing or future recreational opportunities?  Yes  No
11. Will project result in major traffic problems or cause a major impact on existing transportation systems?.....  Yes  No
12. Will project regularly cause objectionable odors, noise, glare, vibration, or electrical disturbances as a result of the project's operation?.....  Yes  No
13. Will project have any impact on public health or safety?.....  Yes  No
14. Will project affect the existing community by directly causing a growth in permanent population of more than 5% over a one-year period or have a major negative effect on the character of the community or neighborhood?.....  Yes  No
15. Is there any public controversy concerning the project?.....  Yes  No

PREPARER'S SIGNATURE:  TITLE: Daniel R. Hershberg, Engineer for the Applicant

REPRESENTING: Honest Weight Food Co-op . DATE: March 29, 2009

## USE VARIANCE STANDARDS

Applications for use variances must be based on alleviating a clearly demonstrable hardship, as opposed to a special privilege of convenience sought by the owner. Furthermore, the hardship must be specific to the land or building, NOT personal circumstance, and must not generally apply to land/buildings throughout the neighborhood.

- ~ When considering a request for a use variance, the Board shall require a showing by the applicant that applicable zoning the regulations have caused unnecessary hardship. In order to prove such unnecessary hardship, the applicant shall demonstrate to the Board that for each and every permitted use under the zoning regulations for the particular district where the property is located:

[1] The applicant cannot realize a reasonable return, provided that lack of return is substantial as **demonstrated by competent financial evidence**.

[2] The alleged hardship relating to the property in question is **unique**, and does not apply to a substantial portion of the district or the neighborhood.

[3] The requested use variance, if granted, **will not alter the essential character of the neighborhood**.

[4] The alleged hardship **has not been self-created**.

### [1] DESCRIPTION OF HARDSHIP

(Describe the features or conditions of the property that restrict reasonable use/return of the property under current zoning regulations)

See Narrative Report

Please answer the following questions to show that the current property owner is being deprived of all economic use or benefit from the property in question under the applicable zoning regulations. The deprivation must be established by **competent financial evidence**. Please attach supporting documents (i.e. mortgage documents, tax bills, rental agreements, etc).

Estimated cost of the proposed improvements/alterations to the property that necessitates the variance(s)? \$ \_\_\_\_\_  
How was this estimate determined? \_\_\_\_\_

When was the property purchased? \_\_\_\_\_  
Purchase price for the property: \_\_\_\_\_  
What is the present value of the property? \_\_\_\_\_  
Source of Valuation \_\_\_\_\_

Original amount of mortgage(s): \_\_\_\_\_  
Mortgage Holder(s): \_\_\_\_\_  
Interest Rate(s): \_\_\_\_\_  
Term of Mortgage(s): \_\_\_\_\_

Is your property currently for sale?  
Yes  No (If No, please continue with question k)

1. How long has the property been for sale? \_\_\_\_\_
2. How has it been advertised? \_\_\_\_\_
3. How many offers have been made for the property and for how much?  
\_\_\_\_\_
4. Is the property listed with a realtor? Yes  No   
If Yes, please name the realtor: \_\_\_\_\_

Have you previously tried to sell your property?  
Yes  No  (If No, please continue with question l)

1. How much were you asking for the property? \_\_\_\_\_
2. How long was the property for sale? \_\_\_\_\_
3. How was it advertised? \_\_\_\_\_
4. How many offers were made for the property and for how much?  
\_\_\_\_\_
5. Was the property listed with a realtor? Yes  No   
If Yes, please name the realtor: \_\_\_\_\_

Explain how you would be negatively affected in an economic or financial way if you did not obtain the variances requested. Please do not comment on your personal financial situation. Your answer must address economic circumstances related to the property and its present inability to provide you with a **reasonable** financial return under the present zoning regulations.

HWFC Has outgrow their existing site and requires additional space. After searching the area they determined that the proposed site was the only site available within the City of Albany which met their needs. If this variance is not granted the HWFC would not be able to complete their expansion.



## **AREA VARIANCE STANDARDS**

Applications for area variances must be based on some extraordinary topographic condition or other physical condition inherent in the parcel (for example: exceptional narrowness, shallowness, shape or area). This condition must prohibit or unreasonably restrict the use of the land and/or building.

- ~ When considering a request for an area variance, the Board shall take into consideration the benefit to the applicant if the variance is granted, as weighted against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination the Board shall also consider:

[1] Whether an **undesirable change** will be produced in the character of the neighborhood or a **detriment to nearby properties** will be created by the granting of the area variance.

[2] Whether the **benefit sought** by the applicant can be **achieved** by some method feasible for the applicant to pursue, **other** than an area variance.

[3] Whether the requested area variance is **substantial**.

[4] Whether the proposed variance will have an **adverse effect** or **impact** on the physical or environmental **conditions** in the neighborhood or district.

[5] Whether the alleged difficulty was **self-created**, which consideration shall be relevant to the decision of the Board, but shall not necessarily preclude the granting of the area variance.

### [1] **DESCRIPTION OF CONDITIONS**

(Describe topographic condition or other physical condition of the property and the manner by which this condition restricts use):

See Narrative Report

**[2] BENEFIT TO APPLICANT**

(Please describe why the proposed project cannot be achieved without an area variance):

See Narrative Report

**[3] SUBSTANTIAL**

(Please describe why you feel the proposed project is not substantial in nature):

See Narrative Report

**[4] CHARACTER OF NEIGHBORHOOD**

(Please describe how the proposed use would be compatible with the existing neighborhood and would not negatively impact traffic patterns, general safety, architectural character, property values, and the atmosphere of the area):

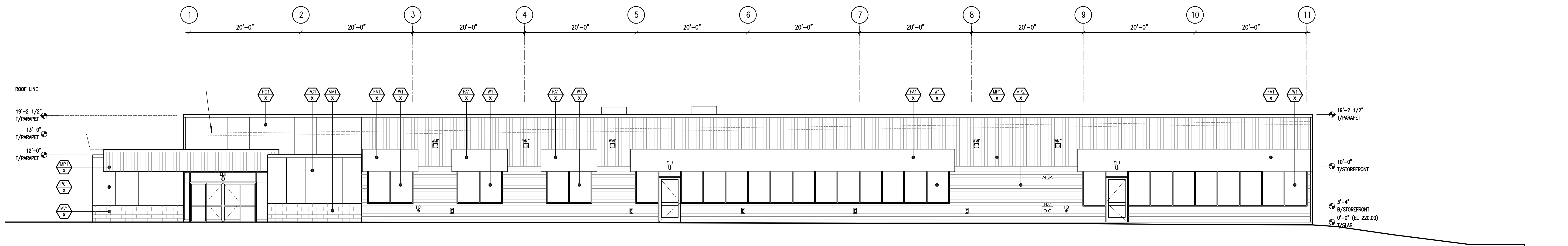
See Narrative Report

**[5] SELF-CREATED**

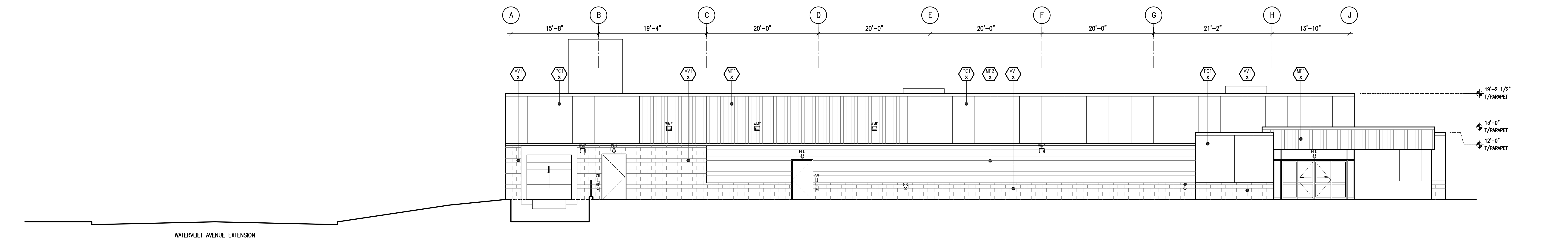
Were you aware of the requirements of the City of Albany Zoning Ordinance at the time of purchase of the property? Yes No

If you answered no to this question, did you use the services of an attorney? Yes No

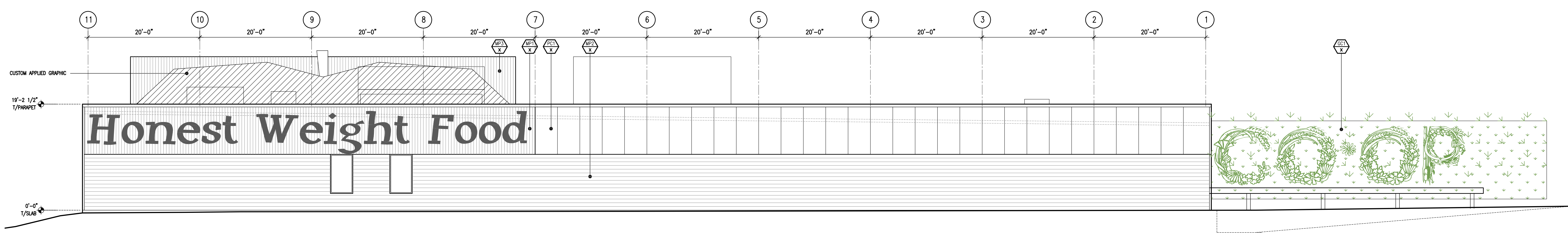




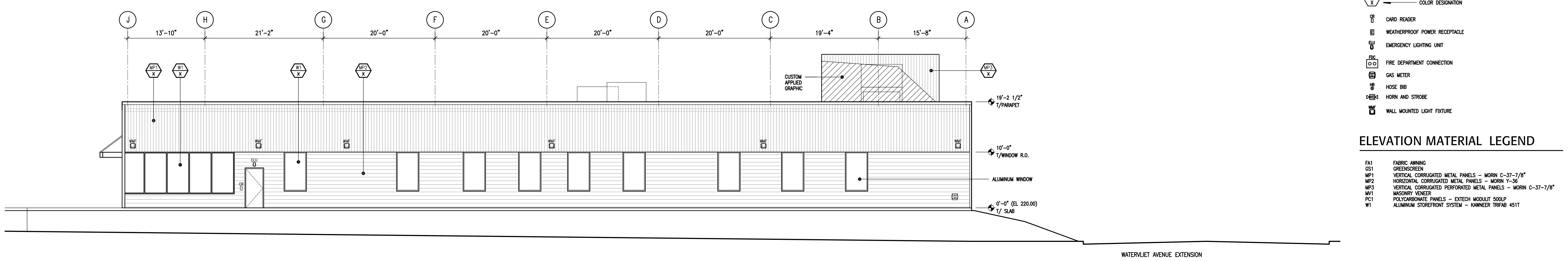
1 SOUTH EXTERIOR WALL ELEVATION  
A6.1 1/8" = 1'-0"



2 WEST EXTERIOR WALL ELEVATION  
A6.1 1/8" = 1'-0"



3 NORTH EXTERIOR ELEVATION  
A6.1 1/8" = 1'-0"



4 EAST EXTERIOR ELEVATION  
A6.1 1/8" = 1'-0"

ELEVATION SYMBOL LEGEND

- MATERIAL DESIGNATION
- COLOR DESIGNATION
- CARD READER
- WEATHERPROOF POWER RECEPTACLE
- EMERGENCY LIGHTING UNIT
- FIRE DEPARTMENT CONNECTION
- GAS METER
- HOSE BIB
- HORN AND STROBE
- WALL MOUNTED LIGHT FIXTURE

ELEVATION MATERIAL LEGEND

- FA1 FABRIC AWNING
- GS1 GREENSCREEN
- MP1 VERTICAL CORRUGATED METAL PANELS - MORN C-37-7/8"
- MP2 HORIZONTAL CORRUGATED METAL PANELS - MORN Y-36"
- MP3 VERTICAL CORRUGATED PERFORATED METAL PANELS - MORN C-37-7/8"
- MW1 MASONRY VENEER
- PC1 POLYCARBONATE PANELS - EXTECH MODULITE 500P
- W1 ALUMINUM STOREFRONT SYSTEM - KAMNEER TRIFAB 451T



**ENVISION**  
architects  
52 James Street  
Albany, NY 12207  
518 462 - 1848  
Fax 462 - 2529  
www.envisionarchitects.com

**SANO-RUBIN CONSTRUCTION, INC.**  
624 DELAWARE AVENUE  
ALBANY, NY 12209  
TEL: 518.462.6471 FAX: 518.462.6866  
email: ken@sano-rubin.com

**CIVIL ENGINEER**  
Hershberg & Hershberg  
18 LOCUST STREET  
ALBANY, NY 12206  
TEL: 518.459.3096 FAX: 518.459.5683  
email: HHershberg@aol.com

**STRUCTURAL ENGINEER**  
Novelli Engineering  
369 DANIELS ROAD  
SHAFTSBURY, VT 05262  
TEL: 802.447.4950 FAX: 802.447.4951  
email: john@novelliengineering.com

**MECH/ PLUMB/ ELEC ENGINEER**  
Plumb Excel Group, P.C.  
4 WOLFERT AVENUE  
ALBANY, NY 12204  
TEL: 518.464.0412 FAX: 518.464.0854  
email: DHampson@Plumbexcelgroup.com

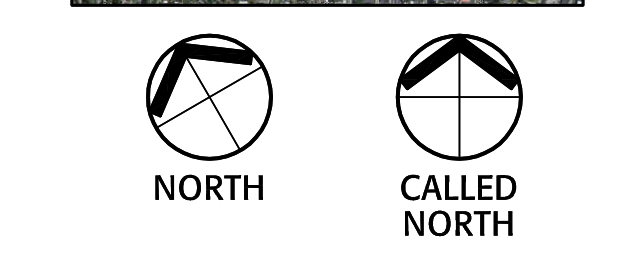
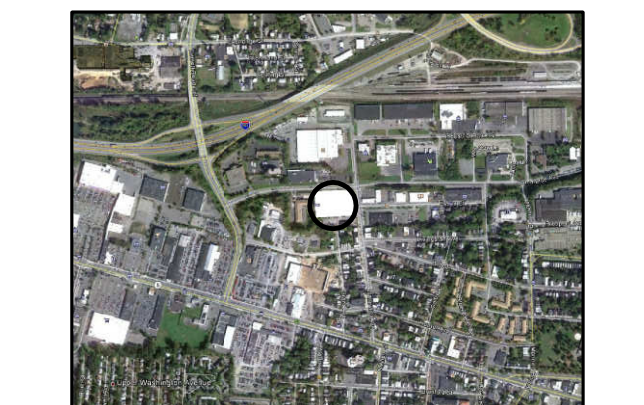
**PROGRESS PRINT**  
NOT FOR CONSTRUCTION  
MARCH 16, 2012

**Honest Weight Food Co-Op**  
484 Central Avenue  
Albany, NY 12206



ENV 234.10.01

LOCATION MAP



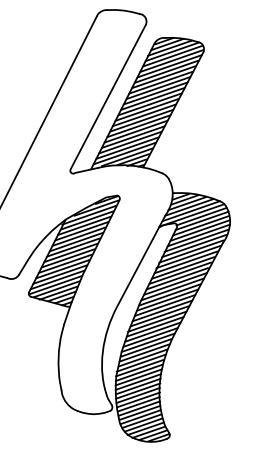
Revisions

GMP SET  
EXTERIOR ELEVATIONS

**A6.1**  
16 MARCH 2012

Mar 29, 2012 - 4:43pm  
F:\CAD\234\1001\C\_work\Sheets\A6\_1 Exterior Elevations.dwg



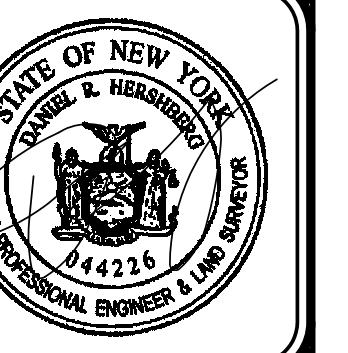


**HERSHBERG & HERSHBERG**

Consulting Engineers and Land Surveyors

18 Locust Street  
Albany, New York 12203

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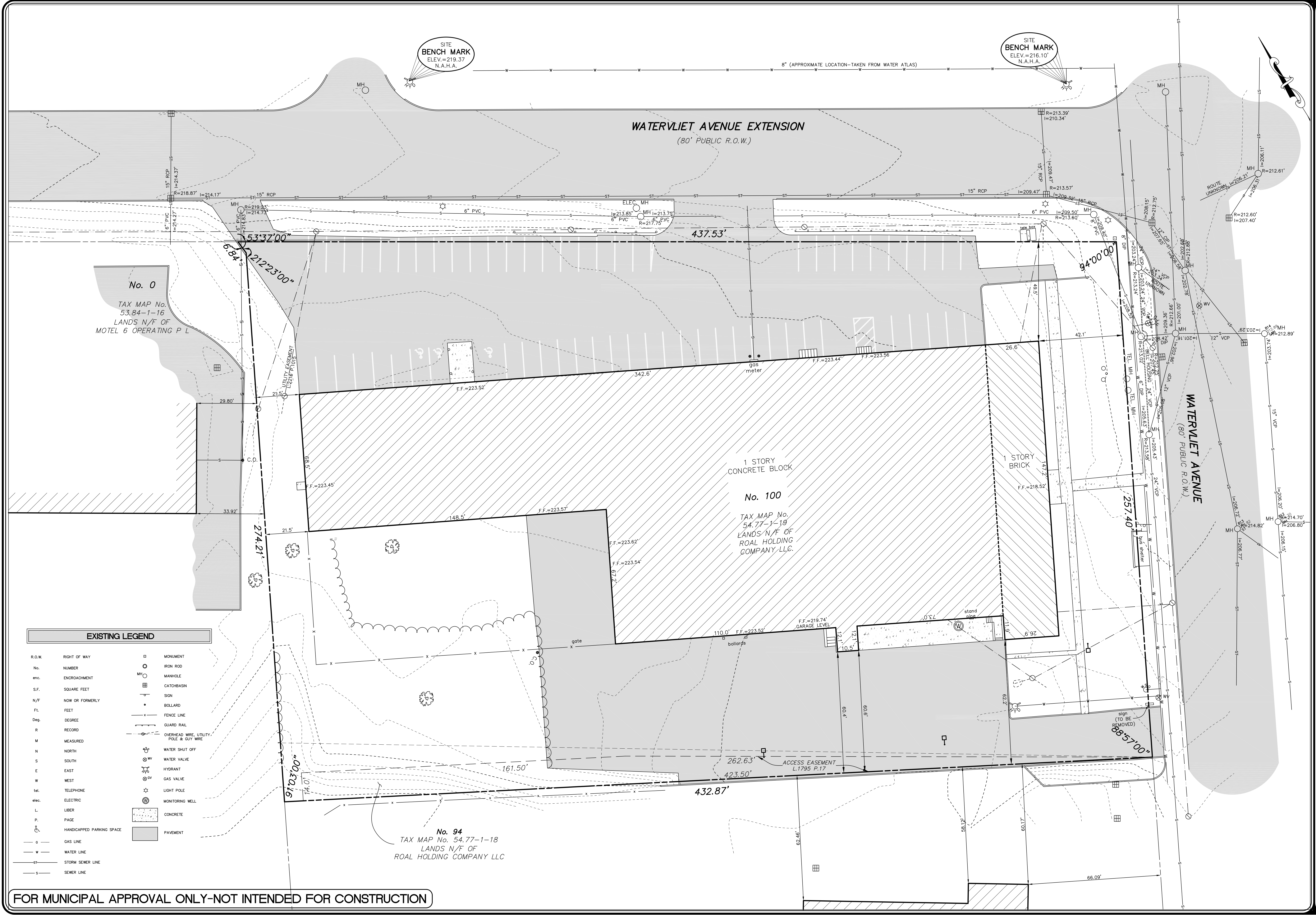


DATE	REVISIONS

REVISIONS

**EXISTING CONDITIONS PLAN FOR  
HONEST WEIGHT FOOD CO-OP  
100 WATERLIET AVENUE  
ALBANY, NEW YORK**

FILE: 100155 SCALE: 1"=20' CHK: DRH DATE: 3/7/12 BY: MLW 000155-2.DWG



**WATERLIET AVENUE EXTENSION**  
(80' PUBLIC R.O.W.)

SITE BENCH MARK  
ELEV.=216.10'  
N.A.H.A.

SITE BENCH MARK  
ELEV.=219.37  
N.A.H.A.

No. 0  
TAX MAP No. 53.84-1-16  
LANDS N/F OF  
MOTEL 6 OPERATING P L

No. 100  
TAX MAP No. 54.77-1-18  
LANDS N/F OF  
ROAL HOLDING COMPANY-LLC.

No. 94  
TAX MAP No. 54.77-1-18  
LANDS N/F OF  
ROAL HOLDING COMPANY LLC

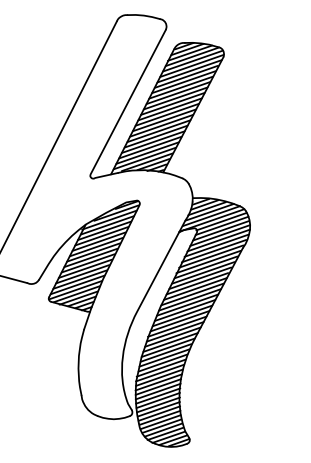
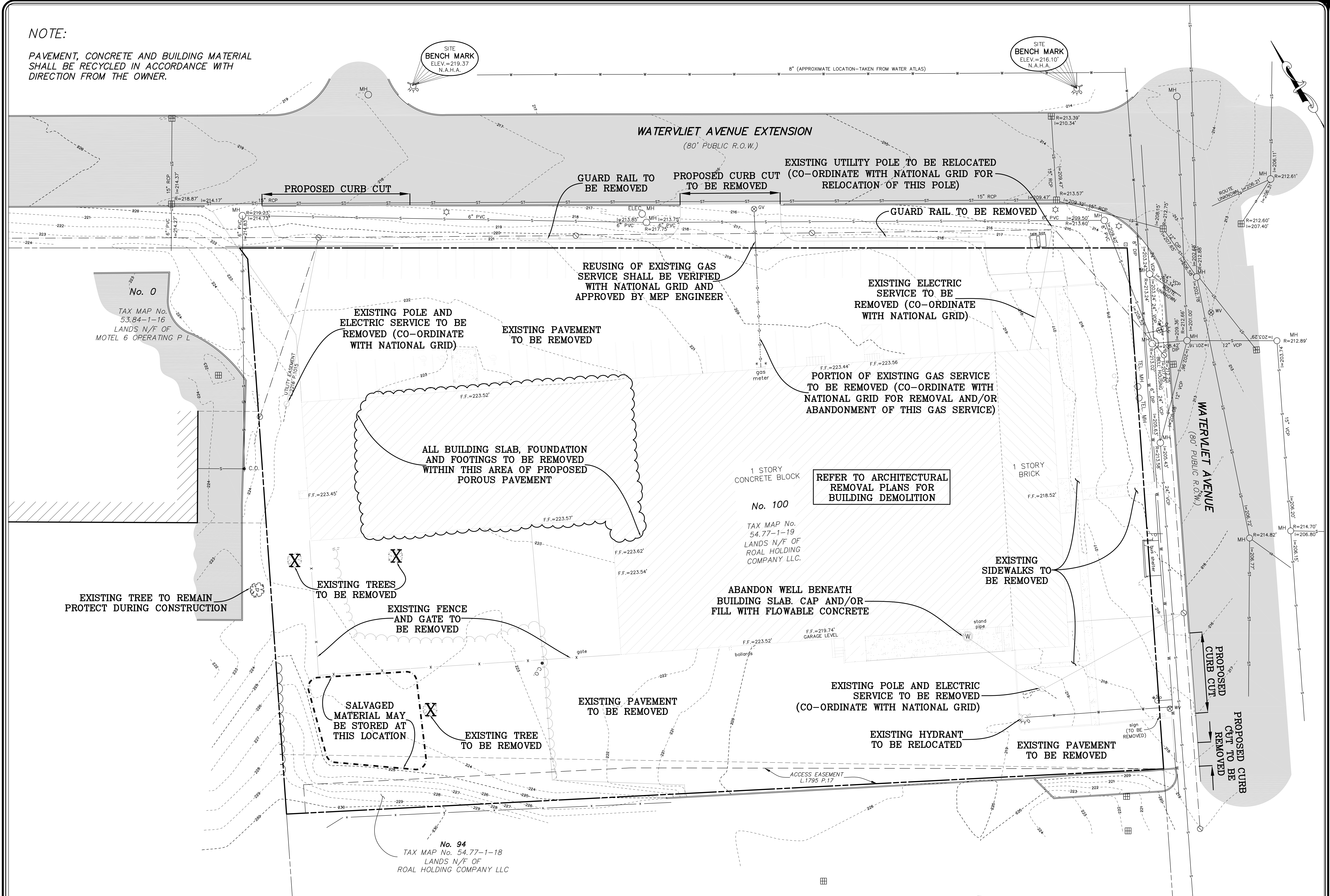
**EXISTING LEGEND**

- |        |                           |    |  |
|--------|---------------------------|----|--|
| R.O.W. | RIGHT OF WAY              | □  | MONUMENT                               |
| No.    | NUMBER                    | ○  | IRON ROD                               |
| enc.   | ENCROACHMENT              | MH | MANHOLE                                |
| S.F.   | SQUARE FEET               | ▣  | CATCHBASIN                             |
| N/F    | NOW OR FORMERLY           | —  | SIGN                                   |
| ft.    | FEET                      | •  | BOLLARD                                |
| Deg.   | DEGREE                    | —  | FENCE LINE                             |
| R      | RECORD                    | —  | GUARD RAIL                             |
| M      | MEASURED                  | —  | OVERHEAD WIRE, UTILITY POLE & GUY WIRE |
| N      | NORTH                     | ⊕  | WATER SHUT OFF                         |
| S      | SOUTH                     | ⊕  | WATER VALVE                            |
| E      | EAST                      | ⊕  | HYDRANT                                |
| W      | WEST                      | ⊕  | GAS VALVE                              |
| tel.   | TELEPHONE                 | ⊕  | LIGHT POLE                             |
| elec.  | ELECTRIC                  | ⊕  | MONITORING WELL                        |
| L      | LIBER                     | ▣  | CONCRETE                               |
| P.     | PAGE                      | ▣  | PAVEMENT                               |
| ⊕      | HANDICAPPED PARKING SPACE |    |  |
| —g—    | GAS LINE                  |    |  |
| —w—    | WATER LINE                |    |  |
| —s—    | STORM SEWER LINE          |    |  |
| —      | SEWER LINE                |    |  |

FOR MUNICIPAL APPROVAL ONLY-NOT INTENDED FOR CONSTRUCTION

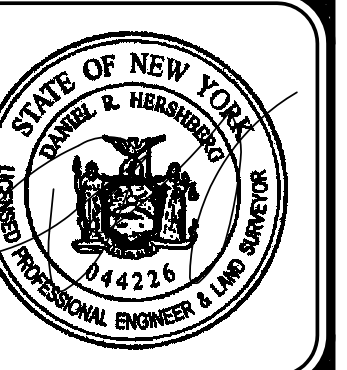
**NOTE:**

PAVEMENT, CONCRETE AND BUILDING MATERIAL SHALL BE RECYCLED IN ACCORDANCE WITH DIRECTION FROM THE OWNER.



**HERSHBERG & HERSHBERG**  
 Consulting Engineers and Land Surveyors  
 18 Locust Street  
 Albany, New York 12203

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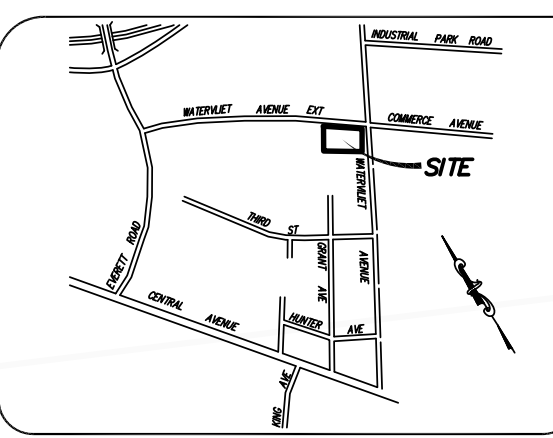
DATE	REVISIONS

**SITE DEMOLITION PLAN FOR HONEST WEIGHT FOOD CO-OP 100 WATERVLIET AVENUE ALBANY, NEW YORK**

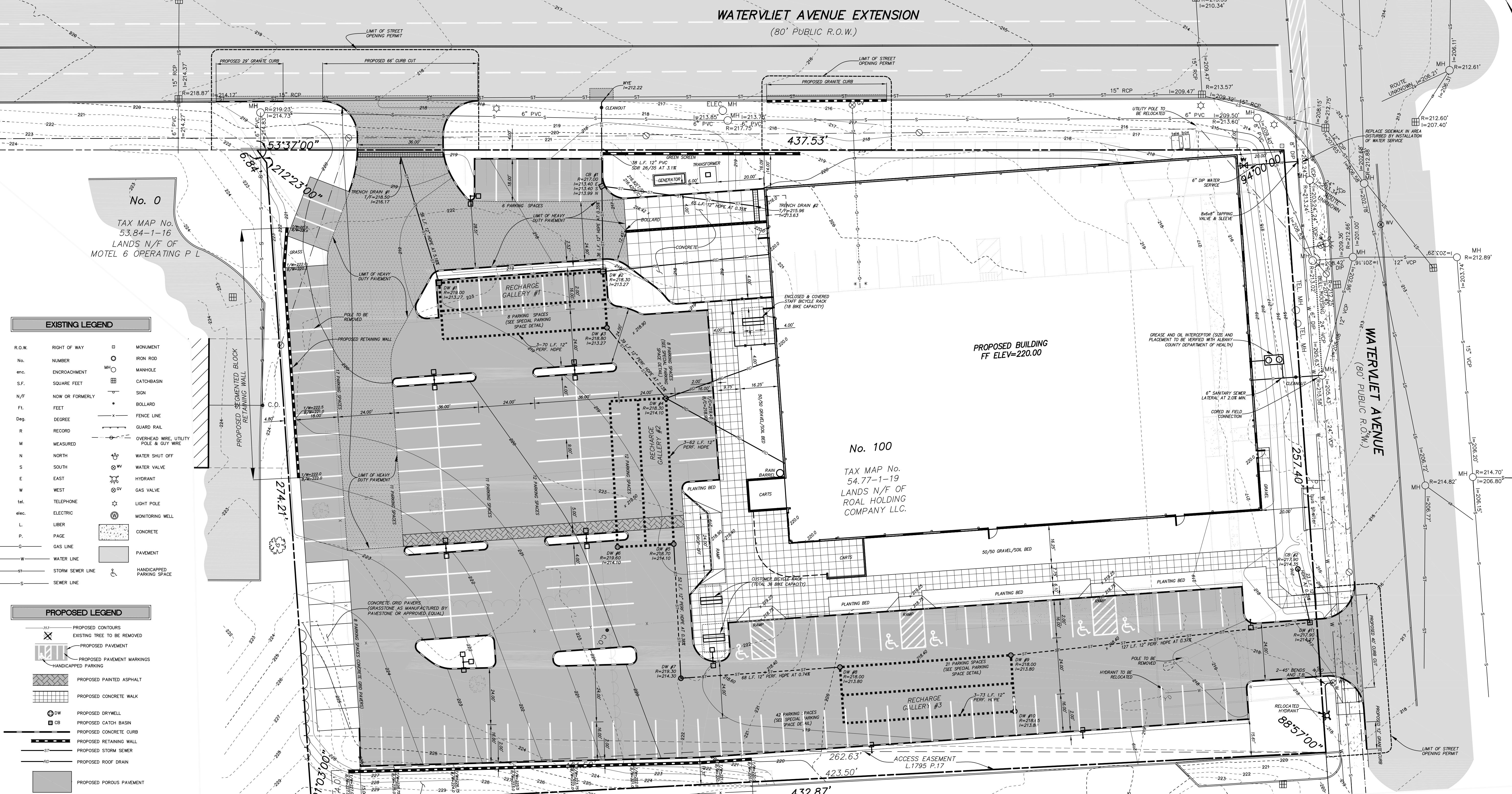
FILE: 100155  
 SCALE: 1"=20'  
 DATE: 3/7/12  
 CHK: CRH  
 BY: MLW  
 00155-2.DWG

FOR MUNICIPAL APPROVAL ONLY-NOT INTENDED FOR CONSTRUCTION





VICINITY MAP  
MAP NOT TO SCALE



**EXISTING LEGEND**

R.O.W.	RIGHT OF WAY	□	MONUMENT
No.	NUMBER	○	IRON ROD
enc.	ENCROACHMENT	MH	MANHOLE
S.F.	SQUARE FEET	⊕	CATCHBASIN
N/F	NOW OR FORMERLY	⊕	SIGN
FL	FEET	⊕	BOLLARD
Des.	DEGREE	—x—	FENCE LINE
R	RECORD	— —	GUARD RAIL
M	MEASURED	—o—	OVERHEAD WIRE, UTILITY POLE & GUY WIRE
N	NORTH	⊕	WATER SHUT OFF
S	SOUTH	⊕	WATER VALVE
E	EAST	⊕	HYDRANT
W	WEST	⊕	GAS VALVE
tel.	TELEPHONE	⊕	LIGHT POLE
elec.	ELECTRIC	⊕	MONITORING WELL
L	LIBER	⊕	
P	PAGE	⊕	
G	GAS LINE	⊕	
W	WATER LINE	⊕	
ST	STORM SEWER LINE	⊕	
S	SEWER LINE	⊕	

**PROPOSED LEGEND**

---	PROPOSED CONTOURS
✕	EXISTING TREE TO BE REMOVED
▨	PROPOSED PAVEMENT
▨	PROPOSED PAVEMENT MARKINGS
▨	HANDICAPPED PARKING
▨	PROPOSED PAINTED ASPHALT
▨	PROPOSED CONCRETE WALK
⊕	PROPOSED DRYWELL
⊕	PROPOSED CATCH BASIN
— —	PROPOSED CONCRETE CURB
— —	PROPOSED RETAINING WALL
— —	PROPOSED STORM SEWER
— —	PROPOSED ROOF DRAIN
▨	PROPOSED POROUS PAVEMENT
▨	PROPOSED HEAVY DUTY PAVEMENT
— —	PROPOSED WATER SERVICE
— —	PROPOSED SANITARY SEWER LATERAL
— —	GAS LINE (TO BE REMOVED)
⊕	THREE (3)
⊕	FIVE (5)
⊕	ONE (1)
⊕	ONE (1)
⊕	ONE (1)

FOR MUNICIPAL APPROVAL ONLY-NOT INTENDED FOR CONSTRUCTION

**WATERVLIET AVENUE EXTENSION**  
(80' PUBLIC R.O.W.)

**WATERVLIET AVENUE**  
(80' PUBLIC R.O.W.)

No. 94  
TAX MAP No. 54.77-1-18  
LANDS N/F OF  
ROAL HOLDING COMPANY LLC

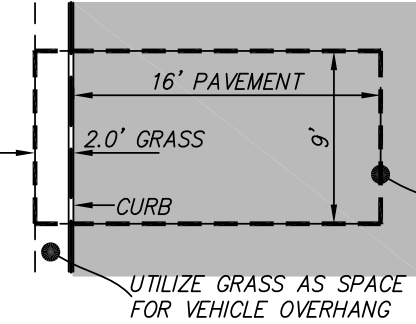
No. 100  
TAX MAP No. 54.77-1-19  
LANDS N/F OF  
ROAL HOLDING COMPANY LLC.

**STORMWATER TREATMENT NOTE**

DRYWELLS AND RECHARGE GALLERIES WILL BE EMPLOYED TO TREAT THE STORMWATER RUNOFF IN ADDITION TO POROUS PAVEMENT.

**PARKING PROVIDED**

143 REGULAR PARKING SPACES  
5 HANDICAPPED PARKING SPACES  
8 CONCRETE GRID PAVERS PARKING SPACES  
156 TOTAL PARKING SPACES



SPECIAL PARKING SPACE DETAIL  
DETAIL NOT TO SCALE

**CONCRETE REPAIR NOTE**

REPLACE ALL EXISTING SIDEWALKS PATCHED WITH ASPHALT WITH NEW CONCRETE WALKS. SEE CONCRETE WALK DETAIL (WITHIN CITY R.O.W.) ON SHEET CS. EXPANSION AND CONTROL JOINTS TO MATCH EXISTING PATTERN.

**SITE LIGHTING NOTE**

FOR ALL EXTERIOR BUILDING AND SITE LIGHTING REFER TO ELECTRICAL DRAWINGS.

**SITE COVERAGE STATISTICS**

DESCRIPTION	S.F.	ACRES	%
GROSS SITE AREA	116,244	2.67	100.0
BUILDING COVERAGE	30,706	0.70	26.4
IMPERVIOUS PAVEMENT & SIDEWALK COVERAGE	14,931	0.34	12.8
TOTAL IMPERVIOUS AREA	45,637	1.05	39.3
POROUS PAVEMENT	45,850	1.09	39.4
GREEN AREA	20,903	0.48	18.0
GRAVEL/SOIL BED	3,854	0.09	3.3
TOTAL PERVIOUS AREA	70,607	1.62	60.7

SITE PLAN FOR  
HONEST WEIGHT FOOD CO-OP  
100 WATERVLIET AVENUE  
ALBANY, NEW YORK

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**REVISIONS**

DATE	REVISIONS
3/15/12	GENERAL REVISIONS

SCALE: 1"=20'  
DATE: 3/7/11  
CHK: CRH  
BY: MLW  
00155-2.DWG

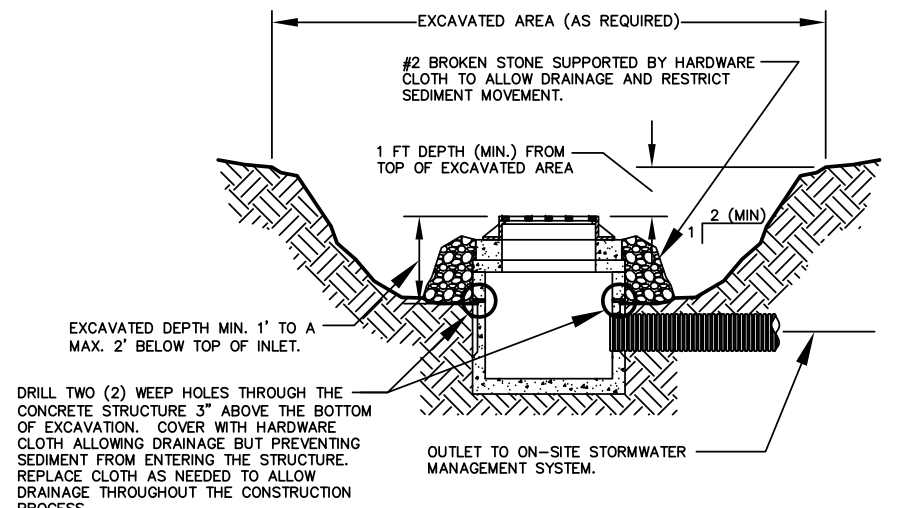






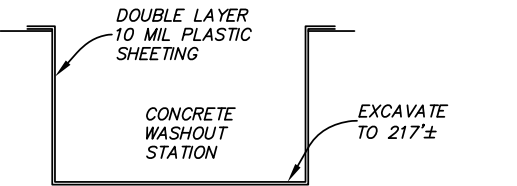




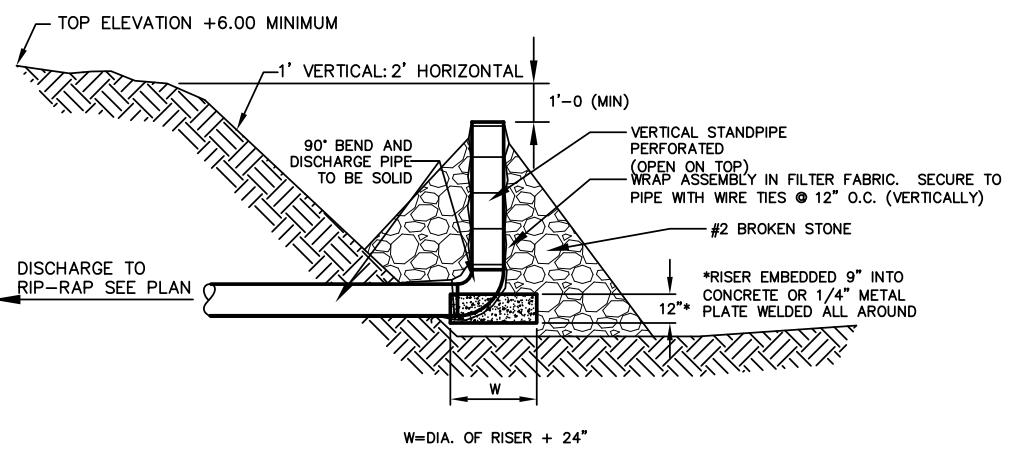


- NOTES:**
1. INSTALL INLET PROTECTION IN ACCORDANCE WITH THE "NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL," SECTION 7A FOR ALL STRUCTURES THAT WILL BE COLLECTING RUNOFF DURING CONSTRUCTION.
  2. CLEAR THE AREA OF ALL DEBRIS THAT WILL INTERFERE WITH EXCAVATION.
  3. GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN.
  4. WEED HOLES SHALL BE PROTECTED BY 2" STONE OR GRAVEL.
  5. UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEED HOLES, FILL BASIN WITH STABLE SOIL TO FINAL GRADE, COMPACT IT PROPERLY AND STABILIZE WITH PERMANENT SEEDING.
  6. THE MAXIMUM DRAINAGE AREA SHALL BE 1 ACRE.
  7. THE STORAGE VOLUME OF THE EXCAVATED AREA SHALL BE 900 CUBIC FEET.
- EXAMPLES: A BASIN 22 FT WIDE BY 22 FT LONG BY 2 FT DEEP, OR A BASIN 30 FT WIDE BY 30 FT LONG BY 1 FT DEEP, OR A BASIN 15 FT WIDE BY 35 FT LONG BY 2 FT DEEP, ETC.

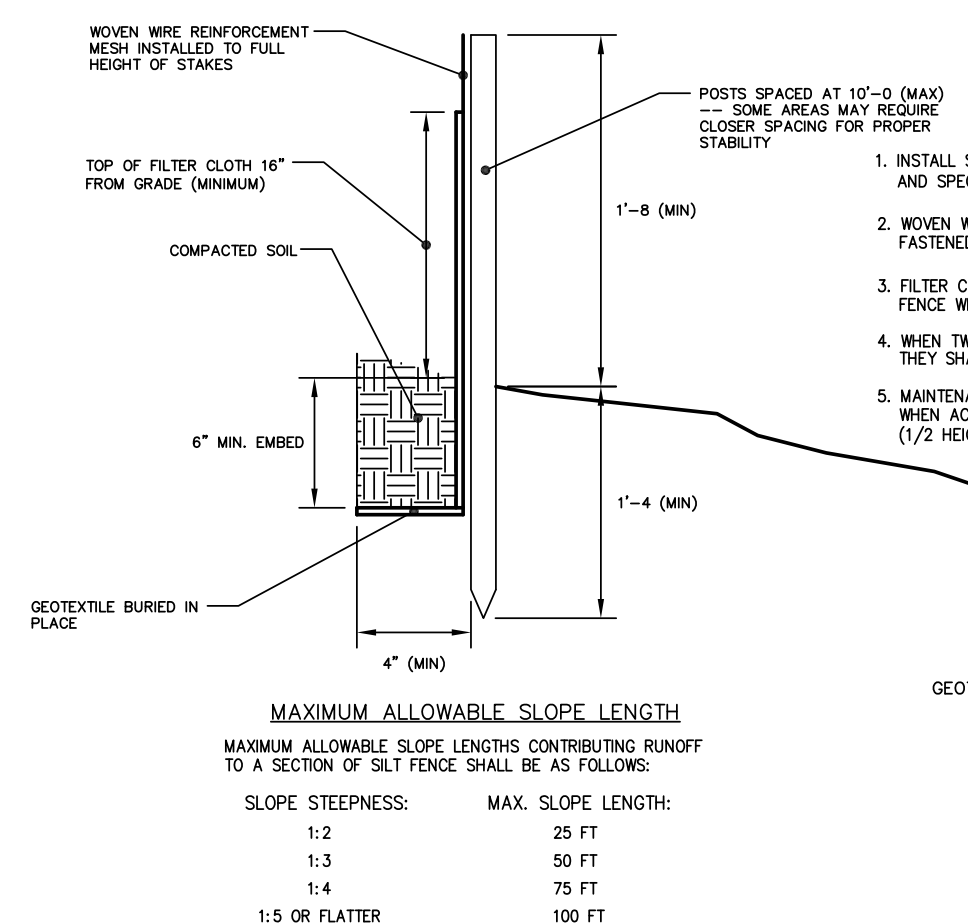
**EXCAVATED DROP INLET PROTECTION**  
NOT TO SCALE



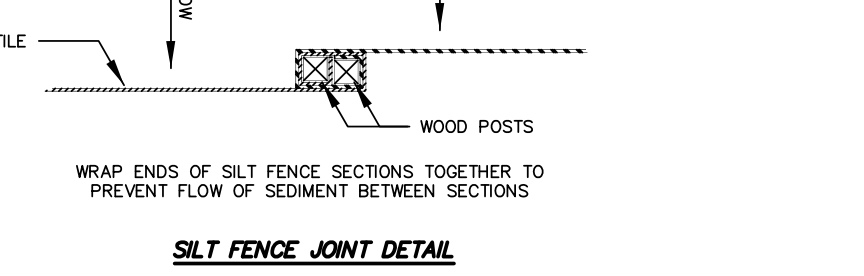
**CONCRETE TRUCK WASHOUT SECTION**  
NOT TO SCALE



**TEMPORARY SEDIMENT TRAP DETAIL**  
NOT TO SCALE



- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**
1. INSTALL SILT FENCE IN ACCORDANCE WITH THE "NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL," SECTION 7A.
  2. WOVEN WIRE FENCE SHALL BE 1/2" DIA. 4" MAXIMUM MESH OPENING, FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
  3. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
  4. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE WRAPPED TOGETHER PER DETAIL 4 ON THIS PAGE.
  5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT REMOVED WHEN ACCUMULATION REACHES 1/2 OF DESIGN CAPACITY OF FENCE (1/2 HEIGHT OF FILTER FABRIC) OR WHEN "BULGES" DEVELOP IN FENCING.
- POSTS: STEEL EITHER 1" OR 1 1/2" TYPE OR 2" HARDWOOD  
FENCE: WOVEN WIRE, 12 1/2" GA. 6" MAX MESH OPENING  
FILTER CLOTH: FILTER X, MARIAT TOOL, STABILMA 1100N OR APPROVED EQUAL.  
PRE-FABRICATED UNIT: GEOTAF, ENVIROFENCE, OR APPROVED EQUAL.



**SILT FENCE JOINT DETAIL**  
NOT TO SCALE

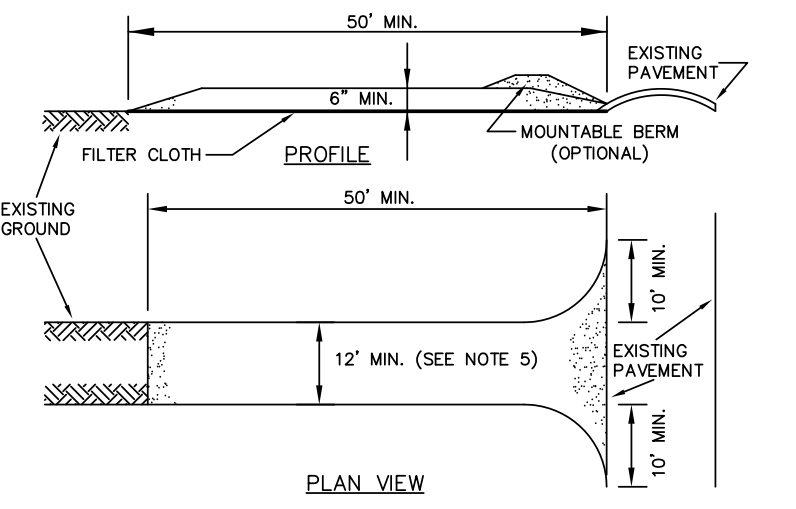
**MAXIMUM ALLOWABLE SLOPE LENGTH**

MAXIMUM ALLOWABLE SLOPE LENGTHS CONTRIBUTING RUNOFF TO A SECTION OF SILT FENCE SHALL BE AS FOLLOWS:

SLOPE STEEPNESS:	MAX. SLOPE LENGTH:
1:2	25 FT
1:3	50 FT
1:4	75 FT
1:5 OR FLATTER	100 FT

NOTE: MAXIMUM DRAINAGE AREA FOR OVERLAND FLOW TO SILT FENCE SECTION SHALL NOT EXCEED 1/4 ACRE PER 100 FT OF FENCE. CONCENTRATED DISCHARGE OF SEDIMENT LADEN WATER SHALL NOT BE ALLOWED TO FLOW DIRECTLY TO THE FENCING.

**SEDIMENT CONTROL FENCE INSTALLATION DETAIL**  
NOT TO SCALE



**TEMPORARY EROSION AND SEDIMENT CONTROL NOTES**

1. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE LATEST EDITION OF "NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL," (8th) (THE BLUE BOOK) EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITIES.
2. IT IS THE INTENT OF THESE PLANS AND NOTES TO BE USED AS A GUIDE BY THE CONTRACTOR TO ENSURE THAT NO ERODED MATERIAL MIGRATES FROM THE SITE OR ENTERS ANY WATER COURSE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THIS IS DONE BY IMPLEMENTING THESE PLANS AND ANY ADDITIONAL MEANS THAT MAY BE NECESSARY. FURTHER MEASURES MAY BE REQUIRED BY THE CITY, VILLAGE, OR TOWN ENGINEER. WHILE MANY OF THE EROSION CONTROL DETAILS CONTAINED WITHIN THESE PLANS ARE TAKEN DIRECTLY FROM THE BLUE BOOK, THE CONTRACTOR SHOULD CONSIDER ANY OF THE DETAILS CONTAINED IN SECTION 7A OF THE BLUE BOOK AS ACCEPTABLE PRACTICE IN THE APPROPRIATE APPLICATIONS.
3. THE DEVELOPER/CONTRACTOR OR HIS BUILDER SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES WEEKLY AND AFTER EACH RAINFALL EVENT THROUGHOUT THE ENTIRE DEVELOPMENT PROCESS TO ASSURE PROPER FUNCTION. SITUATION BARRIERS SHALL BE MAINTAINED IN GOOD CONDITION AND REINFORCED, EXTENDED, REPAIRED, OR SEEDED AND PROTECTED FROM FURTHER EROSION. ALL SEDIMENT ACCUMULATED SHALL BE REMOVED AND CONTAINED IN APPROPRIATE SPILL AREAS. WATER SHALL BE APPLIED TO NEWLY SEEDING AREAS AS NEEDED UNTIL GRASS COVER IS WELL ESTABLISHED. DURING THESE PERIODIC INSPECTIONS, THE FOLLOWING ITEMS SHOULD BE PAID PARTICULAR ATTENTION:
  - A. THE BASIN INLET LOCATIONS SHALL BE INSPECTED FOR SILT ACCUMULATION CAUSED BY THE LACK OF ESTABLISHED SUBORDINATING VEGETATION.
  - B. CATCH BASINS SHALL BE CHECKED FOR SEDIMENT ACCUMULATION.
  - C. SLOPE STABILIZATION AND PROTECTION SHALL ALSO BE CHECKED FOR SEDIMENT ACCUMULATION. IF SIGNIFICANT AMOUNTS OF SEDIMENT ACCUMULATE, RIP-RAP SHALL BE REMOVED AND REPLACED.
  - D. HAY/STRAW BALES AND SILT FENCING SHALL BE INSPECTED REGULARLY FOR UNDERMINING AND DESTRUCTION.
  - E. SEEDING/ALIGNED AREAS SHALL BE INSPECTED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHALL BE REPAIRED AS NECESSARY.
4. EROSION CONTROL DEVICES SHALL NOT BE REMOVED UNTIL THE CITY, VILLAGE OR TOWN ENGINEER HAS APPROVED FINAL STABILIZATION.
5. HAY BALE CHECK DAMS AND SILT FENCE SHALL BE INSTALLED IN ACCORDANCE WITH PLAN AND DETAIL LOCATIONS AND AS DESCRIBED IN GP0-010-01.
6. PRIOR TO CONSTRUCTION OF ANY PHASE, THE STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED.
7. CONSTRUCTION TRAFFIC SHALL NOT CROSS STREAMS OR DITCHES EXCEPT AT SUITABLE CROSSING FACILITIES. EQUIPMENT SHALL NOT OPERATE, UNNECESSARILY, ON ADJACENT ROADWAYS OR ROADWAY AREAS AS DIRECTED BY THE CITY, VILLAGE, OR TOWN ENGINEER.
8. EXISTING PAVEMENT AREAS SHALL BE CLEANED AT THE DIRECTION OF THE CITY, VILLAGE, OR TOWN ENGINEER.
9. WATER TRUCKS SHALL BE USED TO MINIMIZE DUST POLLUTION ON SITE AND ON ADJACENT ROADWAYS OR ROADWAY AREAS AS DIRECTED BY THE CITY, VILLAGE, OR TOWN ENGINEER.
10. ANY WATER PUMPED AS A RESULT OF Dewatering ACTIVITIES SHALL BE PUMPED INTO A Dewatering PIT.
11. CONCRETE WASHOUT AREAS SHALL BE DESIGNATED BY THE DEVELOPER OR CONTRACTOR AND PROTECTED IN ACCORDANCE WITH GP0-010-01.
12. ALL AREAS DISTURBED IN THE CONSTRUCTION PROCESS SHALL BE RE-SEED AS SOON AS PRACTICABLE. PARTICULAR CARE SHALL BE TAKEN TO RE-SEED DISTURBED SLOPES IN A TIMELY MANNER.
13. IT IS RECOMMENDED THAT ALL EROSION CONTROL DEVICES BE PLACED FOR THE ENTIRE PHASE AS SHOWN ON THE EROSION CONTROL PLAN. PLACEMENT MAY BE DONE, HOWEVER, TO SUIT CONSTRUCTION SEQUENCING AS APPROVED BY THE CITY, VILLAGE, OR TOWN ENGINEER.
14. STOCK PILES SHALL BE PROTECTED BY HAY BALE BARRIERS PER GP0-010-01. THESE BARRIERS SHALL BE MAINTAINED IN GOOD CONDITION UNTIL SAID STOCK PILES ARE REMOVED AND STOCK PILING AREAS ARE PERMANENTLY STABILIZED.
15. STOCK PILES SHALL BE SEEDING UPON SUSPENSION OF WORK OR IF MATERIAL IS NOT TO BE USED WITHIN 14 DAYS, IN ACCORDANCE WITH GP0-008-01.
16. IN NO CASE SHALL ERODIBLE MATERIALS BE STOCKPILED WITHIN 25 FEET OF ANY DITCH, STREAM OR OTHER SURFACE WATER BODY.
17. SILT FENCING SHALL BE INSTALLED AT THE DOWN GRADIENT PERIMETERS OF ALL SLOPES TO BE GRADED, PRIOR TO GRADING OPERATIONS.
18. SEDIMENT STILLING BASINS SHALL BE UTILIZED TO PREVENT OFF SITE EROSION.
19. THE STORMWATER DETENTION PONDS AND CUT-OFF SWALES SHALL BE CONSTRUCTED PRIOR TO CONSTRUCTION OF ADJACENT AREAS.
20. WHERE NECESSARY, TEMPORARY GRADING WILL BE REQUIRED TO ROUTE STORMWATER TO CUT OFF SWALES AND DETENTION PONDS.
21. UPON INSTALLATION OF ANY CATCH BASIN, FILTER FABRIC SHALL BE PLACED UNDER THE GRATE AND SHALL REMAIN UNTIL THE DRAINAGE AREA IS STABILIZED.
22. PRIOR TO ANY CONSTRUCTION ALL FEDERAL JURISDICTIONAL WETLANDS SHALL BE FIELD LOCATED AND DELINEATED WITH SILT FENCING AND GRANGE CONSTRUCTION FENCE. THE GRANGE FENCING SHALL BE INSTALLED AT THE ESTABLISHED WETLAND BUFFER, AND THE SILT FENCE SHALL BE LOCATED BETWEEN THE BUFFER AND THE JOB SITE.
23. CLEARING OPERATIONS SHALL BE LIMITED TO ACTIVE WORK AREAS.
24. CARE SHALL BE TAKEN TO PRESERVE AS MUCH EXISTING VEGETATION AS POSSIBLE AND HEALTHY TREES OF DESIRABLE SPECIES SHALL BE PROTECTED.
25. RIP-RAP OUTLET PROTECTION: RIP-RAP SHALL BE PROVIDED AT OUTLET LOCATIONS AS INDICATED ON THESE DRAWINGS. THE RIP-RAP SHALL PROTECT SIDE SLOPES FROM EROSION, AND SHALL BE ESTABLISHED AS THE CULVERT IS INSTALLED.
26. STORM INLET PROTECTION: IMMEDIATELY FOLLOWING COMPLETION OF ANY AND ALL OF THE PROPOSED STORM DRAIN INLETS, STORM DRAIN INLET PROTECTION SHALL BE CONSTRUCTED. THIS PROTECTION SHALL FUNCTION TO PREVENT SEDIMENT ENTRANCE INTO THE STORM DRAINS. PROTECTION SHALL BE MAINTAINED IN GOOD CONDITION UNTIL THE DRAINAGE AREAS HAVE BEEN PERMANENTLY STABILIZED.

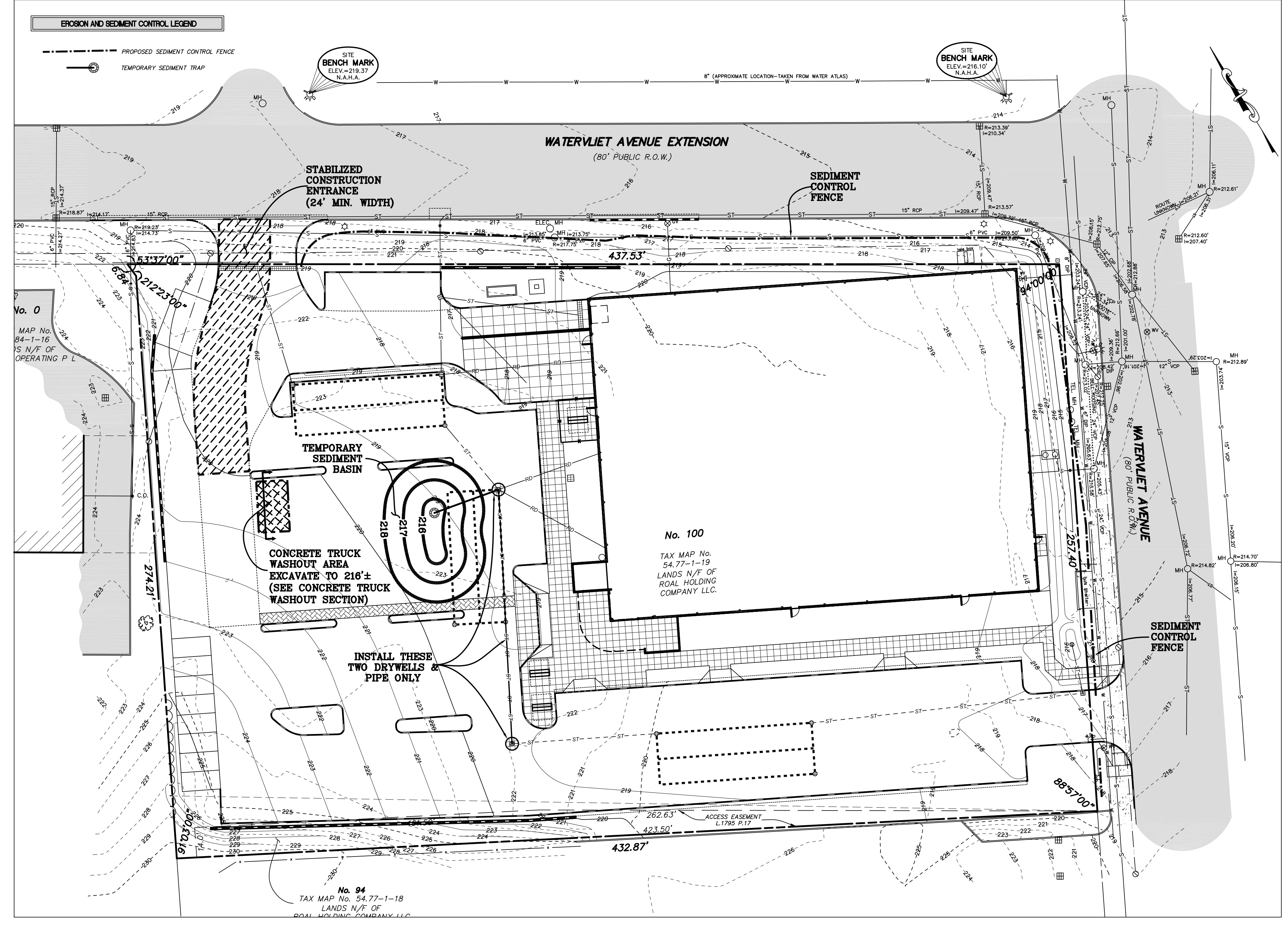
**CONSTRUCTION SPECIFICATIONS**

1. INSTALL CONSTRUCTION ENTRANCE IN ACCORDANCE WITH "NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL," SECTION 7A.
2. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
3. LENGTH - NOT LESS THAN 50 FEET EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
4. THICKNESS - NOT LESS THAN (8) INCHES.
5. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. IF CONSTRUCTED AS THE ONLY ENTRANCE TO THE SITE, WIDTH SHALL BE TWENTY-FOUR (24) FEET.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS ONTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**STABILIZED CONSTRUCTION ENTRANCE DETAIL**  
NOT TO SCALE

**EROSION AND SEDIMENT CONTROL NOTES**

1. THIS PROJECT IS AUTHORIZED UNDER NYSDEC PERMIT GP0-010-01.
2. ANY CONTRACTOR INVOLVED IN EARTHWORK ACTIVITIES, INCLUDING BUT NOT LIMITED TO: CLEARING, GRADING AND TRENCHING, SHALL REVIEW ALL PERMIT CONDITIONS AND CERTIFY UNDERSTANDING OF THESE CONDITIONS IN WRITING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT ALL EROSION CONTROLS DESCRIBED IN GP0-010-01, AND IF IT IS NOT THE INTENT OF THESE DRAWINGS TO REPLACE OR DISSEMINATE THE PERMIT REQUIREMENTS, THE CONTRACTOR SHALL REMAIN IN COMPLIANCE WITH THE PERMIT AT ALL TIMES.
3. AT NO TIME, SHALL MORE THAN FIVE (5) ACRES REMAIN UNSTABILIZED. THE CONTRACTOR SHALL COORDINATE EARTHWORK ACTIVITIES AND IMPLEMENTATION OF SOIL STABILIZATION MEASURES TO ENSURE COMPLIANCE TO THIS PERMIT REQUIREMENT.
4. THE CONTRACTOR SHALL MAINTAIN A CLEAN CONSTRUCTION AND EQUIPMENT ENTRANCE WHENEVER PRACTICABLE.
5. DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS OF COMPLETION OR SUSPENSION OF GRADING OPERATIONS.
6. INSTALL TEMPORARY & PERMANENT SEEDING IN ACCORDANCE WITH THE NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL STANDARD AND SPECIFICATION FOR CRITICAL AREA SEEDING - PAGE 3.3 AND FOR MULCHING PAGE 3.3.1.
7. DURING EXCAVATION OF TEMPORARY SEDIMENT BASIN, FIELD VERIFY A MINIMUM OF 2" SEPARATION DISTANCE FROM GROUND WATER ELEVATION TO SURFACE SAND FILTERS WITH AN IMPERMEABLE BOTTOM AND 3" WITH A PERMEABLE BOTTOM. NOTIFY ENGINEER IMMEDIATELY IF THESE MINIMUM SEPARATION REQUIREMENTS DO NOT EXIST FOR ALTERNATIVE MEANS OF STORMWATER POLLUTION PREVENTION.
8. IMPROVEMENTS SHOWN ARE FOR REFERENCE ONLY SEE OTHER SHEETS FOR SITE UTILITY AND GRADING.
9. PAVED AREAS ARE TO BE SWEEP DAILY TO REMOVE ANY SEDIMENT AND ALL NEWLY PAVED AREAS SHALL BE DIRECTED TO THE TEMPORARY OR FINAL SEDIMENT CONTROL BASINS.



**EROSION & SEDIMENT CONTROL PLAN**  
SCALE: 1"=30'

**HERSHBERG & HERSHBERG**  
Consulting Engineers and Land Surveyors  
18 Locust Street  
Albany, New York 12203

ALTERATION OF THIS DOCUMENT EXCEPT BY A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, IS ILLEGAL.



DATE	REMARKS	REVISIONS

EROSION AND SEDIMENT CONTROL PLAN FOR  
HONEST WEIGHT FOOD CO-OP  
100 WATERLIET AVENUE  
ALBANY, NEW YORK

FILE: 100155  
SCALE: 1"=30'  
CHK: DRH  
DATE: 3/8/12  
00155-2.DWG

FOR MUNICIPAL APPROVAL ONLY-NOT INTENDED FOR CONSTRUCTION