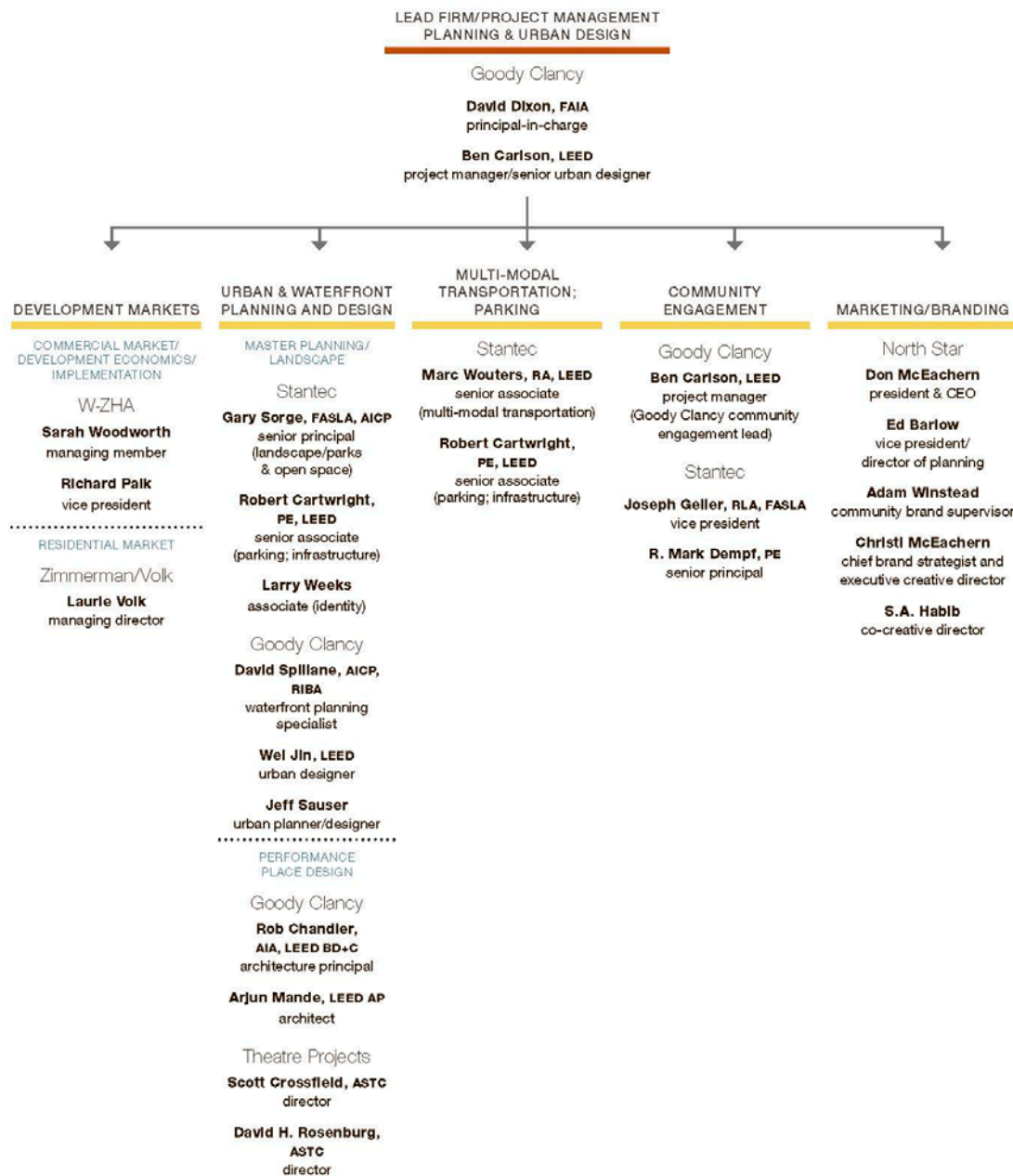




CAPITALIZE ALBANY
CORPORATION

Downtown Albany Tactical Revitalization Plan Team Profile

Organizational Chart



DAVID DIXON, FAIA

PRINCIPAL-IN-CHARGE, PLANNING & URBAN DESIGN

David Dixon has led a wide range of significant projects in North America for public, private, and institutional clients. His commitment to enhancing quality of life and economic opportunity for urban communities is a consistent theme in all his work. Mr. Dixon speaks frequently throughout the country on a range of urban design issues, including smart growth, downtown revitalization, integrating a new generation of urban growth into historic urban environments, and sustainable mixed-income neighborhoods. An advocate for many aspects of community-building, he is especially known for initiating a national dialogue—through lectures, commentary, and the organization of two national conferences—on density as an essential tool for revitalizing urban communities. He has chaired the American Institute of Architects' (AIA) Regional and Urban Design Committee and its National Sustainability Task Force. A recipient of many project awards from groups such as the Congress for the New Urbanism and the Society for College and University Planning, in 2007 David received the AIA's highest honor for achievement in the public sphere, the Thomas Jefferson Award for Public Architecture.

SELECTED AWARDS

- American Institute of Architects—*Residential Architect Hall of Fame* (2012); *Thomas Jefferson Award for Public Architecture*, 2007; *Honor Award for Regional and Urban Design*, 2001, 2005
- American Institute of Architects, New England Chapter—*Outstanding Planning Award*, 2000
- American Planning Association—*Planning Excellence Award for Implementation*, 2010; *Planning Achievement Award for a Hard-Won Victory*, 2011
- American Planning Association, Regional Awards—*CT*, 2003; *FL*, 2007; *GA*, 2007; *IL*, 2003; *KS*, 2010; *LA*, 2011; *MA*, 2001, 2002, 2003, 2005, 2006, 2007, 2009; *NC*, 2010, *OH*, 2005
- American Society of Landscape Architects—*Award of Excellence for Analysis and Planning*, 2001
- Boston Society of Architects—*Campus Planning Award*, 2008; *Urban Design Award*, 2001
- Congress for the New Urbanism—*Charter Award*, 2001, 2002, 2004, 2010, 2011, 2012
- Governor's Smart Growth Innovation Award, Massachusetts—2005
- International Downtown Association—*Merit Award in Planning*, 2007, 2010
- International Downtown Association—*Pinnacle Award*, 2011
- Society for College and University Planning—*Excellence in Planning Award*, 2001, 2004, 2005, 2009, 2010, 2012

SELECTED EXPERIENCE

- **Wichita Downtown Revitalization Master Plan** (Wichita, KS)
Innovative and bold 20-year vision for downtown with significant public involvement that celebrates the city's rich history and reflects its progressive spirit. Significant public involvement drove the plan, developed with the City and the Wichita Downtown Development Commission. *Winner of a 2011 International Downtown Association Pinnacle Award and a 2011 APA Kansas Pioneer Award.*



EDUCATION

Master of Urban Design
Harvard University

Master of Architecture
University of Pennsylvania

Bachelor of Arts
Wesleyan University

PROFESSIONAL AFFILIATIONS

American Institute of Architects (AIA), 2006 chair of the AIA's Regional and Urban Design Committee, co-facilitator of AIA's National Roundtables on Sustainable Design

Boston Society of Architects (BSA): 2003 President; Director, Civic Initiative for a Livable New England

Massachusetts Port Authority 9/11 Memorial, Design Advisor

Urban Land Institute (ULI) Jury for Global Awards for Excellence and Urban Open Space Awards

- **Asheville Downtown Master Plan** (Asheville, NC)
 Master plan to help the community shape new growth in ways that preserve Asheville's character, create a shared vision for downtown over 20 years and enable the community to understand opportunities, tools, and choices for achieving this vision. *Winner of a 2010 International Downtown Association Merit Award and a 2010 APA North Carolina Outstanding Planning Award.*
- **Central Avenue Corridor Plan and Guidelines** (Albany, NY)
 Comprehensive urban design and economic-development plan, marketing strategy, and design guidelines for a 2.9-mile stretch of a key business route between downtown Albany and its suburbs. In less than a year, Goody Clancy created a plan, won city support for its implementation, and helped set up a developer-selection process. *Winner of a 2001 APA-Upstate New York Outstanding Planning Award.*
- **New Orleans Master Plan and Comprehensive Zoning Ordinance** (New Orleans, LA)
 Citywide comprehensive plan and zoning revision to provide a 20-year shared framework for moving beyond Katrina recovery to create a resilient city. Developed on a rapid schedule, with intensive public outreach and participation, this planning effort places special focus on creation of a citywide housing policy, an economic development plan, a flood-hazard and sustainability plan, a citizen participation structure, and implementation plans. *Winner of a 2011 APA Award for Hard-Won Victory and a 2011 APA-Louisiana Excellence Award.*
- **Unified New Orleans Plan** (New Orleans, Louisiana)
 Post-Katrina recovery and rebuilding plans for downtown, the Upper 9th Ward, and the Gentilly and Bywater-Marigny districts prepared for the Greater New Orleans Foundation and the city's planning commission. Planning elements included a new downtown neighborhood, replacing a public housing development and nearby parking lots with a mixed-income, mixed-use, and mixed-density community; a series of innovative initiatives to support downtown's emerging creative economy; replacing damaged public housing and adjacent devastated areas in the Desire and Florida neighborhoods with a new mixed-income community of more than 4,000 housing units; and a lively new neighborhood square and commercial center in Gentilly. *Winner of 2007 International Downtown Association Merit Award in Planning (for the plan's downtown portion).*
- **Saint Paul's Quadrant & Hampton Boulevard Plans** (Norfolk, VA)
 Planning for revitalization of the neighborhoods surrounding Old Dominion University as mixed-income districts and for creation of a new mixed-use district on 115 acres of underutilized land adjacent to downtown.
- **City Center Master Plan/LCI Update** (Sandy Springs, GA)
 Master plan for the City of Sandy Springs including a comprehensive stakeholder engagement process, economic analysis, and developer design guidelines. The scope of work includes a concurrent effort to update the City's Livable Centers Initiative (LCI) Study for the downtown corridor, focusing strategies that promote healthy quality of life and create a sense of place and identity for the community.
- **Kendall and Central Square Planning Study** (Cambridge, MA)
 Future development vision for Kendall Square, a worldwide hub of innovative thinking in high tech and life sciences, and Central Square, the historic heart of Cambridge. Work includes exploring ways to improve connections between these two important centers.
- **Plymouth Growth Management Strategy** (Plymouth, MA)
 Policy framework and strategic action plan for the fastest-growing municipality in Massachusetts to manage growth in sensitive areas while promoting economic

development and compact residential growth. *Winner of a 2004 Honorable Mention Award for Comprehensive Planning from the Massachusetts Chapter of the American Planning Association.*

- **Clifton Corridor Urban Design Guidelines** (Atlanta, GA)
Assistance to the Clifton Community Partnership, created by Emory University, to develop a comprehensive, consensus-based community development, preservation and transportation plan for the campus and its surroundings, including mixed-use redevelopment strategies for industrial, strip-retail and other underutilized sites around the university. *Winner of a 2010 Congress of New Urbanism Charter Award, a 2009 SCUP Excellence in Planning Merit Award for a District or Campus Component, and a 2008 Boston Society of Architects Campus Planning Award.*
- **Roswell Town Square/Atlanta Street Corridor Study** (Roswell, GA)
Corridor-improvement plan for a historic community outside of Atlanta. Challenges included balancing walkability with significant vehicular traffic, neighborhood revitalization, and improving connectivity within the community's historic heart.
- **Tyler 21 Comprehensive Plan** (Tyler, TX)
Comprehensive plan to guide the long-term development of one of the fastest-growing cities in Texas. The plan focuses on creating a strategic framework for development and ensuring broad public participation in the planning process. *Winner of a 2008 Citation of Honor from the Texas Society of Architects.*
- **A 20/20 Vision for Concord** (Concord, NH)
Urban design strategy and guidelines to reunite the downtown with the Merrimack River, identify economic opportunities, attract development to core areas, and preserve and enhance historic, waterfront, and open space resources. An implementation plan sets forth critical short- and long-term strategies that will add new growth while preserving quality of life. *Winner of a 2002 CNU Charter Award.*
- **Miami Parks and Public Spaces Master Plan** (Miami, FL)
Innovative master plan for parks and public spaces in an era of renewed investment and redevelopment in the City of Miami. Based on an unprecedented program of public participation, the plan creates a linked system that provides aesthetic, recreational and environmental benefits to residents, neighborhoods, the city and the region. *Winner of a 2007 Florida Chapter APA Award of Merit.*
- **Uplands Mixed-Income Neighborhood Master Plan** (Baltimore, MD)
A redevelopment plan for a new mixed-income neighborhood to replace 900 affordable housing units created in the 1950s. Created through extensive community participation, the plan accommodates a broad mix of incomes and housing types and introduces new streets, civic places and passive parks.
- **Drexel University Master Plan** (Philadelphia, PA)
A 20-year master plan to guide Drexel University's growth as it doubles its enrollment to 40,000. The plan reinforces Drexel's urban qualities by focusing growth inward to increase campus density and vitality and by "bringing the campus to city streets" that pass through Drexel. It also focuses on strengthening and energizing campus connections to the surrounding neighborhoods and the larger city. *Winner of a 2012 Honor Award for Excellence in Planning for an Existing Campus from SCUP.*
- **High Street/University District Plan** (Columbus, OH)
Vision and master plan for High Street, the mile-long eastern boundary of The Ohio State University campus. The plan integrates land use, urban design and streetscape improvements, identifies critical catalyst projects, establishes design and development

guidelines, and sets out an implementation plan. Based on this plan, the first catalyst project, a 550,000 SF development that combines entertainment, retail, mixed-income housing, and office uses opened in 2005. Winner of a 2010 APA Planning Excellence Awards for Implementation and a 2004 *Society for College and University Planning Award–Honorable Mention*.

SELECTED SPEAKING ENGAGEMENTS

- American Planning Association National Conferences (2001–2012)
- American Planning Association Virginia Chapter Conferences (2012)
- Building Energy Conference: “Sustainable Campuses/Sustainable Communities” (2012)
- New Partners for Smart Growth Conference: “Next Generation of Smart Growth: Lessons from Austin, Texas, and Dublin, Ohio” (2012)
- Urban Land Institute (ULI) Panel: “An Innovative Plan for Workforce Housing: Planning for Walkable Urbanity” (2010); “Growing the Creative Class in East Franklinton” (2012)
- Walk Boston annual meeting: “Walkability as the shared DNA that connects health, sustainability, and economic development” (2012)
- AIA Baltimore: “Shrinking City/Growing City—Baltimore’s Future?” (2011)
- AIA Conventions (2001, 2003–2011)
- AIA Detroit “Detroit By Design” Urban Centers Symposium (2011)
- AIA Memphis Conference (2011)
- Affordable Housing Design Leadership Institute (2011)
- APA Florida Conference: “Universities and Economic Development: Placemaking Partnerships” (2011)
- Congress for the New Urbanism National Congresses (2001, 2002, 2011)
- Congress for the New Urbanism New England Conference (2011)
- Envision Prince George’s and Coalition for Smart Growth Forum (2011)
- Innovations in Public Consultation & Engagement Conference: “Shaping Redevelopment Efforts and Economic Revitalization through Participatory Planning” (2011)
- Mayor’s Institute on City Design (MICD) (2002, 2008, 2011)
- Preservation North Carolina Conference: “Preservation in the Age of Walk Score” (2011)
- Rail-Volution National Conference: “Overcoming Fear of Density,” “Reinventing Communities,” “Density and Design Workshop,” “Multimodal Hubs” (2004, 2005, 2007, 2009, 2011)
- REALgreen Sustainability Conference: “Urbanism and Sustainability” (2011)
- SCUP North-Atlantic Regional Conference (2011)
- Solutions for Sustainable Communities Learning Conference on State & Local Housing Policy (2011)
- University of Rhode Island Faculty Forum on Sustainability and the Build Environment (2011)
- AIA Denver Urban Design Conference (2010)
- Common Boston Festival Moderator: “Making Connections: A Public Forum” (2010)
- National Trust Conference (2010)
- American Planning Association Audio/Web Conference Training Program “Mastering Density” (2008)
- APA Spring Planners Training Service: “Transit-Oriented Development Design” (2008)
- Natural Resources Defense Council (NRDC): Smart Growth Planning Meeting Retreat (2008)
- AIA Center for Building Science and Performance (AIA CBSP) Symposium: “Disaster Resilience through Planning and Building Performance” (2007)

- DC Builds; DC Planning Office at the National Building Museum: “Density by Design” (2007)
- Housing Boston 2012: Strategies for High-Cost Cities: “New Frontiers in Design” (2007)
- Providence Preservation Society Annual Meeting (2007)
- American Planning Association Audio/Web Conference Training Program “Design Graphics for Planning” (2006)
- Big City Planning Directors Institute: “Preparing the Public for Density” (2006)
- Build Boston: “Heritage at Risk—New Orleans and the Gulf Coast,” “Transit-Oriented Redevelopment,” “Memorials: How Are They Developed?” (2005, 2006)
- NESEA Building Energy Conference (2006)
- Pennsylvania Environmental Council on TOD (2006)
- Reconnecting America webcast: “TOD 101: Putting the Pieces Together,” “Finding the Balance, Realizing the Potential: Listening Session on Affordable Housing and Transit-Oriented Development in Boston” (2006)
- SCUP Mid-Atlantic Regional Conference (2006)
- AIA’s Communities on the Line Conference on TOD Design, Chair (2005)
- Density 2: Reinventing the Urban Village (2005)
- Housing Summit, San Antonio (2005)
- Learning from Lower Manhattan, respondent (2004)
- Lincoln Institute: “Universities as Developers,” “Revitalizing University Communities” (2002, 2003, 2004)
- Mayor’s Center City speaker series, Seattle: Neighborhoods of Tomorrow (2004)
- Mayor’s symposium on downtown development, Albuquerque: Variety and Choice (2004)
- New Ecology Forum at MIT, Cambridge, MA (2004)
- Rappaport Center for Urban Policy Conference: “Varieties of Regionalism” (2003): “Density” (2004)
- National Conference on Density: Myth and Reality, conference chair and speaker (2003)
- Natural Resources Defense Council (NRDC) Environmental Entrepreneurs Forum: Smart Growth in Massachusetts (2003)
- Boston Public Library series: “Using Urban Design to Build 21st-Century Communities” (2002)
- Urban Land Institute (ULI) Brown Bag Luncheon: “Creating Affordable Transit-Oriented Development and Mixed-Income Neighborhoods” (2006); ULI expert panel: Downtown Birmingham (2002)

BEN CARLSON, LEED AP

SENIOR URBAN DESIGNER



EDUCATION

Master of Architecture
University of California, Berkeley

Bachelor of Arts, architecture
Yale University

Young Designers Professional
Development Institute
Boston Society of Architects

REGISTRATION

LEED® accredited

PROFESSIONAL & CIVIC ACTIVITIES

Boston Society of Architects

Habitat for Humanity of Greater
Boston Construction Committee

Congress for the New Urbanism

Mr. Carlson has served as project manager and lead or contributing urban designer on a wide variety of master planning and architecture projects, where he has creatively addressed complex design issues and skillfully worked with community and regulatory groups to gain consensus and approvals. Mr. Carlson has managed much of Goody Clancy's award-winning work for cities where he provided specific technical input on urban design strategy, directly participated in outreach tasks, and was a primary author of final plan documentation. He brings particular skill in developing and documenting urban design guidelines in text, diagrams and precedent photos; analyzing development program alternatives and confirming preferred program and land use goals coordinated with economic, urban design and infrastructure frameworks; developing detailed implementation strategies addressing the organization, leadership, timing, results, funding and models for action steps; and managing complex project teams to conduct technical analysis, facilitate public outreach, develop plan recommendations, and produce highly legible, effective products. Mr. Carlson's portfolio includes significant urban design projects in Washington DC, Massachusetts, Wichita, Connecticut, Vermont, Missouri, Illinois, Ohio, Pennsylvania, Virginia, North Carolina, Louisiana, Georgia, and Karachi, Pakistan.

SELECTED EXPERIENCE

- Wichita Downtown Revitalization Master Plan** (Wichita, KS)
 Innovative and bold 20-year vision for downtown with significant public involvement that celebrates the city's rich history and reflects its progressive spirit. Significant public involvement drove the plan, developed with the City and the Wichita Downtown Development Commission. *Winner of a 2011 International Downtown Association Pinnacle Award and a 2011 APA Kansas Pioneer Award.*
- Asheville Downtown Master Plan** (Asheville, NC)
 Master plan to help the community shape new growth in ways that preserve Asheville's character, create a shared vision for downtown over 20 years and enable the community to understand opportunities, tools, and choices for achieving this vision. *Winner of a 2010 International Downtown Association Merit Award and a 2010 APA North Carolina Outstanding Planning Award.*
- Roswell Town Square/Atlanta Street Corridor Study** (Roswell, GA)
 Corridor-improvement plan for a historic community outside of Atlanta. Challenges included balancing walkability with significant vehicular traffic, neighborhood revitalization, and improving connectivity within the community's historic heart.
- Unified New Orleans Plan** (New Orleans, LA)
 Post-Katrina recovery and rebuilding plans for downtown and two other districts prepared for the Greater New Orleans Foundation and the city's planning commission. Elements included replacing a downtown public housing development and nearby parking with a new mixed-income, mixed-use, and mixed-density community; innovative initiatives to support downtown's emerging creative economy; a new mixed-income community in the Desire and Florida neighborhoods that replaces public housing and creates more than 4,000 units of housing; and a lively new neighborhood square and commercial center in Gentilly. *Winner of a 2007 International Downtown Association Merit Award in Planning (District 1).*

- **City Center Master Plan/LCI Update** (Sandy Springs, GA)
Master plan for the City of Sandy Springs including a comprehensive stakeholder engagement process, economic analysis, and developer design guidelines. The scope of work includes a concurrent effort to update the City's Livable Centers Initiative (LCI) Study for the downtown corridor, focusing strategies that promote healthy quality of life and create a sense of place and identity for the community.
- **Kendall and Central Square Planning Study** (Cambridge, MA)
Future development vision for Kendall Square, a global hub of innovative thinking in high tech and life sciences, and Central Square, the historic heart of Cambridge. Work includes exploring ways to improve connections between these two important centers.
- **Clifton Corridor Urban Design Guidelines** (Atlanta, GA)
Assistance to the Clifton Community Partnership, created by Emory University, to develop a comprehensive, consensus-based community development, preservation and transportation plan for the campus and its surroundings, including mixed-use redevelopment strategies for industrial, strip-retail and other underutilized sites around the university. *Winner of a 2010 Congress of New Urbanism Charter Award, a 2009 SCUP Excellence in Planning Merit Award for a District or Campus Component, and a 2008 Boston Society of Architects Campus Planning Award.*
- **St. Paul's Quadrant Planning Study** (Norfolk, VA)
Planning study addressing the vast redevelopment potential of a 115-acre district bordering Norfolk's downtown, whose healthy combination of office, residential, retail, entertainment, and tourism-related uses demonstrates the success of three decades of thoughtful redevelopment.
- **Village Center: New Agawam Village** (Plymouth, MA)
Master planning for A.D. Makepeace Company, the largest private property owner in eastern Massachusetts, for a new community with more than 1,200 units of housing, retail, office and civic uses. A key element of the plan is establishment of a village green early in the development process as a center of activity and symbolic focus for the community.
- **Urban Streetscape & Adaptive Reuse Plan for the Inner Belt and Brickbottom Districts** (Somerville, MA)
Goody Clancy is planning a transformative new chapter for a 160-acre former industrial district—the largest redevelopment site close to downtown Boston—as it gains service from an extension of a regional subway line around 2018. A principal city objective is to make the study area a significant center of employment to bolster economic development, given the city's unusually high share of residential development. Other goals include adding park spaces and improving access to and through an area hemmed in by railroad embankments and elevated highways.
- **Braddock Metro Area Planning** (Alexandria, VA)
Creation of a vision, redevelopment framework, and strategy that would enable the City and this racially and economically diverse neighborhood manage significant development spurred by proximity to the Braddock Road Metro station. Goody Clancy participated in a "town meeting" that represented a new start for the stalled planning process and led a series of community education workshops, a charrette, and in-depth working sessions. The City Council adopted the plan in 2008.
- **Quincy Downtown Revitalization Plan** (Quincy, MA)
Revitalization plan for the historic center of an aging industrial city southwest of Boston. The plan outlined tax-increment financing mechanisms that the city will use to build

new infrastructure and helped attract a team of private developers that has committed to investing \$1.6 billion in 1.1 million SF of new office space, 1,400 units of housing, and 700,000 SF of new retail space.

- **Drexel University Master Plan** (Philadelphia, PA)
A 20-year master plan to guide Drexel University's growth as it doubles its enrollment to more than 40,000. The plan puts a strong emphasis on enhancing the university's urban qualities, including focusing growth inward to increase campus density and vitality, and "bringing the campus to city streets" that pass through Drexel. The plan also focuses on strengthening and enlivening campus connections to the surrounding neighborhoods and City of Philadelphia. *Winner of a 2012 SCUP Excellence in Planning Award.*
- **Dublin Bridge Street Corridor Plan** (Dublin, OH)
Vision and implementation plan for transforming an arterial corridor dominated by traditional suburban-style retail and office development into a series of distinct, walkable mixed-use districts that address "creative class" expectations for high quality of life while honoring Dublin's traditional neighborhoods, architecture, and landscape. *Recipient of a 2012 Congress for the New Urbanism Honorable Mention.*
- **Aga Khan University Land Use Planning Study** (Karachi, Pakistan)
Comprehensive planning and urban design for a new university town that will form the home of Aga Khan University's Faculty of Arts & Sciences near Karachi, Pakistan. Goody Clancy's work includes an international review of best practices in planning university communities, a detailed survey of potential residents that explored desired community qualities, and creation of a development framework rooted in its unique cultural, environmental, and economic contexts. *2011 Congress of New Urbanism Honorable Mention. Winner of a 2010 SCUP Merit Award for Excellence in Planning for District or Campus Component.*

SELECTED SPEAKING ENGAGEMENTS

- Build Energy Conference: "Sustainable Campuses/Sustainable Communities" (2012)
- SCUP North Atlantic Regional Conference (2011)
- 10th Annual Partners for Smart Growth Conference (2011)
- American Planning Association National Conference (2010)

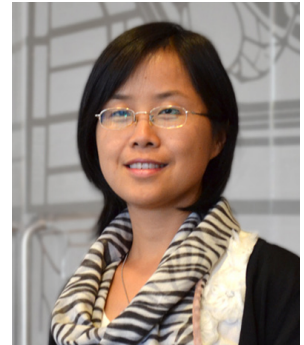
WEI JIN, LEED AP

URBAN DESIGNER

Wei has experience on a wide range of architectural and urban design projects, ranging from campus planning and mixed-use development to residential planning and housing design. Her strong design skills and environmental sensitivities integrate physical design solutions with social aspects and natural systems. Wei has five years of professional experience in China as an architect working on projects from office buildings to residential complexes. She has also worked as main designer on urban design projects in South Korea and Mexico.

SELECTED EXPERIENCE

- Wichita Downtown Revitalization Master Plan** (Wichita, KS)
 Innovative and bold 20-year vision for downtown with significant public involvement that celebrates the city's rich history and reflects its progressive spirit. Significant public involvement drove the plan, developed with the City and the Wichita Downtown Development Commission. *Winner of a 2011 International Downtown Association Pinnacle Award and a 2011 APA Kansas Pioneer Award.*
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 Planning for revitalization of the neighborhoods surrounding Old Dominion University as mixed-income districts and for creation of a new mixed-use district on 115 acres of underutilized land adjacent to downtown.
- City of New Orleans Master Plan and Comprehensive Zoning Ordinance** (New Orleans, LA)
 Citywide comprehensive plan and zoning revision to provide a 20-year shared framework for going beyond Katrina recovery to create a resilient city. Developed on a rapid schedule, with intensive public outreach and participation, this planning effort places special focus on creation of a citywide housing policy, an economic development plan, a flood-hazard and sustainability plan, citizen participation structure, and implementation plans. *Winner of a 2011 National APA Award for Hard-Won Victory and a 2011 APA Louisiana Excellence Award.*
- Kendall and Central Square Planning Study** (Cambridge, MA)
 Future development vision for Kendall Square, a worldwide hub of innovative thinking in high tech and life sciences, and Central Square, the historic heart of Cambridge. Work includes exploring ways to improve connections between these two important centers.
- Roswell Town Square/Atlanta Street Corridor Study** (Roswell, GA)
 Corridor-improvement plan for a historic community outside of Atlanta. Challenges included balancing walkability with significant vehicular traffic, neighborhood revitalization, and improving connectivity within the community's historic heart.
- Buffalo State College Facilities Master Plan** (Buffalo, NY)
 Worked with Buffalo State College and the State University Construction Fund to identify site and facility enhancements needed over the next ten years in support of the College's academic mission and strategic vision.



EDUCATION

Master of Urban Planning &
 Master of Urban Design
 University of Michigan, Ann Arbor

Bachelor of Architecture
 Wuhan Urban Construction
 Institute, China

- **Clifton Corridor Urban Design Guidelines** (Atlanta, GA)
 Assisted the Clifton Community Partnership, created by Emory University, in developing a comprehensive, consensus-based community development, preservation and transportation plan for the campus and its surroundings, including mixed-use redevelopment strategies for industrial, strip-retail and other underutilized sites around the university. *Winner of a 2010 Congress of New Urbanism Charter Award, a 2009 SCUP Excellence in Planning Merit Award for a District or Campus Component, and a 2008 Boston Society of Architects Campus Planning Award.*
- **Oklahoma City Downtown Airpark Site Master Plan** (Oklahoma City, OK)
 Master plan to transform a 120-acre riverfront site into a major mixed-use district, including 1,500 residential units, 600,000 SF of retail and office space, and a wide range of community facilities. The master plan establishes a significant mixed-use urban village close to the city's core, creating a major new destination on the emerging open space network along the river.
- **Drexel University Master Plan** (Philadelphia, PA)
 A 20-year master plan to guide Drexel University's growth as it doubles in enrollment to more than 40,000. The plan puts a strong emphasis on enhancing Drexel's urban qualities, including focusing growth inward to increase campus density and vitality, and "bringing the campus to city streets" that pass through Drexel. The plan also focuses on strengthening and enlivening campus connections to the surrounding neighborhoods and City of Philadelphia. *Winner of a 2012 SCUP Excellence in Planning Award.*
- **Collegetown Urban Plan and Design Guidelines** (Ithaca, NY)
 A collaboration between the City of Ithaca and Cornell University to develop a framework for the creation of a revitalized urban environment supporting the rich diversity of students, residents, and businesses in an area just south of the campus.
- **SUNY College at Old Westbury Facilities Master Plan** (Old Westbury, NY)
 Development of a facilities master plan that will drive capital investments and provide a framework for future development at the 4,500-student campus. We worked with the College and the State University Construction Fund to identify future site, facility, and space needs on campus and evaluated a range of alternative approaches for addressing these needs. The facilities master plan identifies effective strategies that are feasible within a highly constrained fiscal environment.
- **Uptown Parks** (Cincinnati, OH)
 Creation of four neighborhood-revitalization and -planning initiatives for a consortium of academic, medical, and research institutions led by the University of Cincinnati. Includes mixed-use facilities that integrate research, academic and community uses in a single building and reinvigorated Main Streets, mixed-income housing, and other improvements that serve both the client institutions and the larger community.
- **Riverfront Island Master Plan** (Lewiston, ME)
 Master plan to assist in the continued growth and revitalization of the Riverfront Island area of downtown Lewiston, the second largest city in Maine. Located along the Androscoggin River, the site has the potential to become a vibrant downtown destination and activity center. The plan includes expanding walkability down to and along the river, redevelopment of the historic Lewiston Mills for a mix of uses, and restoring canals and green spaces to attract both visitors and residents. *Winner of the 2012 APA Northern New England Chapter Plan of the Year Award.*

JEFF SAUSER

URBAN DESIGNER

Given his skills with a wide range of technical tools and software, as well as significant interest and expertise in planning, Jeff plays an important role on both planning and urban design efforts undertaken by Goody Clancy. Along with urban design expertise, he has extensive knowledge of GIS mapping and spatial analysis. Jeff has worked on large-scale comprehensive plans, brownfields plans, neighborhood revitalization plans and, prior to Goody Clancy, landscape and urban design projects at a variety of scales in China. He currently plays a supporting role on almost every project in the planning and urban design division.

SELECTED EXPERIENCE

- New Orleans Master Plan and Comprehensive Zoning Ordinance** (New Orleans, LA)
 Citywide comprehensive plan and zoning revision to provide a 20-year shared framework for moving beyond Katrina recovery to create a resilient city. Developed on a rapid schedule, with intensive public outreach and participation, this planning effort places special focus on creation of a citywide housing policy, an economic development plan, a flood-hazard and sustainability plan, a citizen participation structure, and implementation plans. *Winner of a 2011 APA Award for Hard-Won Victory and a 2011 APA–Louisiana Excellence Award.*
- City Center Master Plan/LCI Update** (Sandy Springs, GA)
 Master plan for the City of Sandy Springs including a comprehensive stakeholder engagement process, economic analysis, and developer design guidelines. The scope of work includes a concurrent effort to update the City’s Livable Centers Initiative (LCI) Study for the downtown corridor, focusing strategies that promote healthy quality of life and create a sense of place and identity for the community.
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- Urban Streetscape & Adaptive Reuse Plan for the Inner Belt and Brickbottom Districts** (Somerville, MA)
 Goody Clancy is planning a transformative new chapter for a 160-acre former industrial district—the largest redevelopment site close to downtown Boston—as it gains service from an extension of a regional subway line around 2018. A principal city objective is to make the study area a significant center of employment to bolster economic development, given the city’s unusually high share of residential development. Other goals include adding park spaces and improving access to and through an area hemmed in by railroad embankments and elevated highways.
- Livable Neighborhoods Claiborne Corridor Plan** (New Orleans, LA)
 Planning study to explore how the Claiborne Avenue Corridor can support revitalization and help integrate many new initiatives underway in New Orleans, while still serving as a critical transportation link for the rest of the city and adjoining parishes. Responsibilities include neighborhood planning, revitalization, and urban design analysis and recommendation as well as leading sub-consultant work including economic development, real estate analysis, housing market analysis, and sustainability.



EDUCATION

Master of Architecture + City and Regional Planning
 Georgia Institute of Technology

Summer China Program
 University of North Carolina-Charlotte

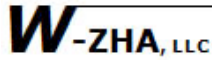
Master of Arts, Metropolitan Studies
 New York University

PROFESSIONAL & CIVIC ACTIVITIES

Boston Architectural College
 Studio Design Review Juror

Boston Society of Architects

- **Birmingham Comprehensive Plan** (Birmingham, AL)
Guided by an overall vision that embodies the unique personality, culture, and heritage of the community, this planning process establishes a 20-year policy, strategic, and implementation framework to make Birmingham a model for 21st century city life. It is Birmingham's first full comprehensive plan since 1961, designed to reflect the broad public participation and input that is at the heart of the planning process.
- **Drexel University Master Plan** (Philadelphia, PA)
A 20-year master plan to guide Drexel University's growth as it doubles its enrollment to 40,000. The plan reinforces Drexel's urban qualities by focusing growth inward to increase campus density and vitality and by "bringing the campus to city streets" that pass through Drexel. It also focuses on strengthening and energizing campus connections to the surrounding neighborhoods and the larger city.
- **East Franklinton Creative Community District Revitalization Plan** (Columbus, OH)
Vision and implementation plan for transforming an underutilized 200-acre urban neighborhood adjacent to Columbus's central business district. The primary project goal is to facilitate residential and commercial investment by and for creative professionals.
- **Emmanuel College Institutional Master Plan** (Boston, MA)
The new Emmanuel IMP serves as a framework for Emmanuel's campus planning and development strategies through 2022, including the Endowment Campus and the Academic Campus. The Plan makes recommendations for both new building projects as well as improvements in the public realm in order to achieve a doubling of academic space while increasing campus open space. The plan was approved by the Boston Redevelopment Authority in 2012.
- **Neighborhood Planning with the San Antonio Housing Authority** (San Antonio, TX)
A master plan for the San Antonio Housing Authority's Victoria Commons development and a transformation plan and implementation strategy for the neighborhood, including the Authority's Wheatley Courts property, the latter funded by and adhering to the core goals of HUD's Choice Neighborhoods program.
- **Sunset District Master Plan** (San Antonio, TX)
A conceptual master plan for the historic Sunset Station site, and surrounding underutilized sites, designed to tap the district's potential as a place of significantly greater civic, cultural, and economic value, and as a major 21st century San Antonio destination and highly valued urban neighborhood.
- **Master Plan for the Near East Neighborhood** (Columbus, OH)
Redevelopment and reinvestment master planning for an 800-acre urban neighborhood that has served as a major historic center of the African-American community in Columbus. The work will shape a consensus-based investment strategy and is being undertaken for Partners Achieving Community Transformation, an alliance of the City of Columbus, The Ohio State University Medical Center, the Columbus Metropolitan Housing Authority, and neighborhood stakeholders.
- **Springfield Disaster Recovery Master Plan** (Springfield, MA)
Goody Clancy participated in creation of a recovery master plan, focusing on one of the three districts hit hardest by a 2011 tornado—the downtown and the adjacent South End, a residential neighborhood. An intense public process helped shape a framework and strategies for rebuilding. The plan also identifies a variety of financing incentives and resources for rebuilding.



SARAH S. WOODWORTH, MANAGING MEMBER

As Managing Member of W-ZHA, LLC, Ms. Woodworth concentrates primarily on redevelopment strategies, feasibility analyses for various land uses, and structuring equitable financial structures on public/private development projects. Ms. Woodworth was the Senior Vice President of ZHA, Inc. and W-ZHA, LLC is the successor organization of ZHA, Inc. W-ZHA, LLC is a woman-owned business.

In understanding downtown redevelopment, Ms. Woodworth is mostly interested in identifying those competitive aspects of a place which successfully attract people and investment. Ms. Woodworth has worked on a number of projects which required a full understanding of the market and place characteristics in order to consciously cultivate opportunities for mixed-use development and sustainability. In performing redevelopment analyses, Ms. Woodworth has conducted market analysis, financial feasibility analysis, gap financing identification, transit-oriented development analysis, developer solicitation packaging and evaluation. In addition, Ms. Woodworth is fully aware of alternative regulatory strategies to enhance development potential and land use profitability.

In her 25 years of experience, Ms. Woodworth has helped to craft downtown development strategies for numerous towns and cities such as: Providence, RI; Greenville, SC; Norfolk, VA; Chattanooga, TN; Charleston, SC; Cincinnati, OH; Lexington, KY; Pittsburgh, PA; Ephrata, PA; Appleton, WI; and Minneapolis, MN. In each case, whether a big city or a small town, commercial and residential market dynamics form the foundation of the revitalization strategy.

In addition to her planning and analytic expertise, Ms. Woodworth has become increasingly involved in owner representation. Ms. Woodworth works with public and non-profit clients to evaluate proposed projects from a market, economic and fiscal impact perspective. Ms. Woodworth also provides the technical financial and economic analyses to support joint development negotiations. Among others, Ms. Woodworth has supported the City of Quincy, MA in Downtown redevelopment, the NJ Department of Transportation; Alexandria, VA; Worcester, MA; Kansas City, MO; Rockville, MD; Maryland National Capital Park and Planning Commission; Developer Consortiums in Montgomery County, MD and Tysons Corner, VA in their joint development negotiations.

Ms. Woodworth has extensive experience in the impacts of transit on revitalization. Ms. Woodworth has structured over five transit-oriented projects that have been built or are in the process of development. Ms. Woodworth has worked with the Delaware, Washington, New Jersey and Maryland State Departments of Transportation and AMTRAK to assess development opportunities and support joint development negotiations.

Ms. Woodworth has spoken for such associations as the National Council for Urban Economic Development, the American Planning Association, the Florida Redevelopment Authority Association and the Waterfront Center. Ms. Woodworth attended the Masters of City and Regional Planning Program at the University of North Carolina at Chapel Hill. She received her Bachelor of Arts degree in political science from Middlebury College in Vermont.



RICHARD A. PAIK, VICE PRESIDENT

Mr. Paik has 18 years of experience in real estate and economic development consulting. Mr. Paik manages projects involving market and financial feasibility analyses, urban revitalization plans, community economic development strategies, economic impact analyses, and the negotiation of joint, public/private development endeavors. Mr. Paik's clients include public, private and nonprofit entities seeking economic revitalization and/or private development opportunities. His analyses have addressed a range of development types encompassing:

- Conventional residential, commercial and industrial products,
- Mixed-use projects,
- Revitalization strategies for downtowns, waterfronts, transit station areas and other underutilized properties or areas, and
- Specialized projects such as recreational facilities, marinas, theaters, sports stadiums, research parks, meeting/convention facilities, port facilities, and other such development projects.

In preparing these analyses, Mr. Paik focuses on initial feasibility, strategic “catalyst” project opportunities, and the impacts thereof. His impact analyses assist public clients in understanding the various implications of development and revitalization. These implications involve the economic impacts such as jobs, economic output, and wages, as well as fiscal issues involving tax revenues as weighed against increased costs for public safety, education, capital improvements and other items.

In addition to his primary areas of experience, Mr. Paik also has experience in land use planning and real property appraisal, as well as two years as a practicing attorney.

Mr. Paik holds a law degree from the University of Minnesota (1991), a Master of Regional Planning from the University of North Carolina at Chapel Hill (1985), and a Bachelor of Arts from Brown University (1982).

ZIMMERMAN/VOLK ASSOCIATES

LAURIE VOLK is principal in charge of Zimmerman/Volk Associates' market studies and is the firm's primary analyst of demographic, market, and lifestyle trends.

Volk's development of the target market methodology—analytical tools to determine the market potential for downtown housing; for mixed-income, mixed-tenure repopulation and stabilization of fragile inner-city neighborhoods, and for new mixed-use, pedestrian-oriented traditional neighborhoods—has been instrumental in bringing Zimmerman/Volk Associates into national prominence. Since 1988, the firm has completed more than 450 market studies, for properties ranging in size from the redevelopment of half a block to the establishment of a new town on several thousand acres. Volk has conducted more than 60 downtown studies across the country, in cities ranging in size from Petersburg, Virginia (population 32,400) to Detroit, Michigan (population 713,000).

Volk currently serves on the Advisory Board of the Remaking Cities Institute. She was a founding board member, now emeritus, of the National Charrette Institute, and served for more than a dozen years on the Board of Governors of the Seaside Institute. Until recently, she was a member of the Technical Advisory Group for Location and Planning of the U.S. Green Building Council. Volk was recipient of a 2002 Knight Fellowship in Community Building, and has been an instructor on market analysis for the Center for Urban Redevelopment Excellence at the University of Pennsylvania.

Volk established international credentials for her observations of consumer and economic trends as a writer and researcher for *The Times* of London and as a member of the prestigious Insight Team of *The Sunday Times*. In addition, she was chief of research for over a dozen *Sunday Times* books, covering topics ranging from finance to commercial aviation.

She is a graduate of Duke University, with a Bachelor of Arts degree.

ZIMMERMAN/VOLK ASSOCIATES

TODD ZIMMERMAN is principal in charge of Zimmerman/Volk Associates' consulting practice and is the firm's industry liaison. Using the target market methodology, Zimmerman was instrumental in bringing market rigor to the New Urbanism within the United States and is now expanding that effort outside the country.

Zimmerman was one of the framers of the Charter of the Congress for the New Urbanism, and is a member of the CNU Board of Directors and sits on the CNU executive committee. Previously he served as chairman of the CNU Council of Task Force Chairs.

Zimmerman established a national reputation for his early identification of real estate market trends as Editor and Publisher of *Multi-Housing News* and *Senior Living News*, and founding Publisher and Editorial Director of *Real Estate Times*.

For more than decade in the 1980s and '90s, Zimmerman was program chairman of Multi-Housing World, the nation's largest conference devoted solely to density housing. He was a founding director and executive committee member of the National Association for Senior Living Industries. Zimmerman was also a founding principal of Real Property Resource Company, a consulting and brokerage firm, and a founding director and former president of the North County Conservancy, a non-profit housing developer. He was also a member of the Multifamily Roundtable and served on the advisory board of *Affordable Housing Finance* magazine.

Zimmerman has lectured at a number of universities, including Columbia, Harvard, Miami, Rutgers and Yale.

VOLK and ZIMMERMAN are frequently quoted in consumer and business publications, including *Barron's*, *Forbes*, *The Los Angeles Times*, *The New York Times*, *The Wall Street Journal*, *The Washington Post* and *U.S. News and World Report* as well as industry journals. They have addressed conferences throughout North America and in Western Europe, and are sought-after speakers on housing, target markets, sustainable development and urban redevelopment. Volk and Zimmerman occasionally write on market dynamics for books and journals.



Joseph T. Geller RLA, FASLA

Vice President; Landscape Architecture/Urban Design

Joe has been involved in all aspects of project management, site master planning, and design. His work with architects, developers, and institutions has provided him with insight and knowledge of the overall design process, as well as, a strong understanding of site and planning issues. Joe enjoys the strategic aspect of the planning, permitting, and entitlement process and has led successful efforts for many complex projects. Prior to joining Stantec Joe was the President and CEO of the landscape architectural firm Geller DeVellis which he started in 1983. His current role at Stantec is Practice Leader for Landscape Architecture and Regional Leader for New England.

A current Fellow of the American Society of Landscape Architects, Joe has served on the faculty of the Boston Architectural College as an architectural studio design instructor and is currently serving on the college's Board of Overseers. He has written articles for Urban Land, School Construction News, School Planning Management, Business Officer, and The Boston Business Journal. Joe was elected as a member of the Brookline Board of Selectman where he served as a member and Chairman of the Board from 1993-2005. He is also the former Chairman of the Emerald Necklace Conservancy. This community and civic experience provided Joe the opportunity to hone his public engagement skills which he now uses when facilitating public meetings, workshops and design charrettes for projects in North America.

Currently, Joe is responsible for a number of projects including public and private educational facilities, healthcare, senior housing, resort hotels, and mixed use developments.

EDUCATION

Associate of Science Landscape Construction, University of Massachusetts, Amherst, Massachusetts, 1976

Bachelor of Landscape Architecture, University of Toronto, Toronto, Ontario, 1980

REGISTRATIONS

Registered Landscape Architect #1261, State of New York

Registered Landscape Architect #719, State of Connecticut

Registered Landscape Architect in 4 other states.

MEMBERSHIPS

Trustee, Brookline Conservation Commission

Member and Fellow, American Society of Landscape Architects

Member, National Association of Industrial and Office Properties

Member, Urban Land Institute

Past President, Boston Society of Landscape Architects

AWARDS

2010 Boston Society of Landscape Architects - Honor Award in Institutional Design, NewBridge on the Charles Intergenerational Community

2008 Boston Society of Landscape Architects - Merit Award in Urban Design, Maverick Landing

2005 BSLA Merit Award, The Metropolitan

2003 BSLA Award of Excellence in Landscape Architecture

PROJECT EXPERIENCE

NewBridge on the Charles Intergenerational Campus, Dedham, Massachusetts (Principal in Charge)

Master planning through construction for 160 acre senior housing campus with a K-8 elementary school. Responsible for design review, client contact and all project permitting.

Ontario Urban Expansion Visioning, Ottawa, Canada (Principal in Charge)

Facilitated a visioning session and follow up graphic image development of 6,295 hectares in Southwest Ottawa, Canada. The visioning session included a three day charrette with the client, selected stakeholders, and a graphic specialist. The session built consent between the participants and set a vision for the client. Sketches in 2-D and 3-D were produced.

* denotes projects completed with other firms

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Joseph T. Geller RLA, FASLA

Vice President; Landscape Architecture/Urban Design

Arcade Meadows, Athens, Georgia (Principal in Charge)

Provided planning and design of a new community on 1600 acres northwest of Athens, GA. The project included almost 5,000 residential units, two elementary schools, and a large commercial area. The design plan resulted from overlaying a network of streets over the resource network on site. A village center was located on the largest pond on site and is the major focal point of the new development.

Jewish Federation of Greater Hartford, West Hartford, Connecticut (Principal in Charge)

Provided master planning, site planning and permitting for the expansion of the existing JCC facility along with construction of a new 15,000 square foot administration building and 250-student Hebrew High School of New England.

Jewish Community Center of Greater Boston - Camp Kingswood*, Bridgton, Maine (Principal in Charge)

Provided master planning for the expansion of JCC overnight camp including new staff housing, bunks, shower facilities and an outdoor worship area.

Cabot Corporation, Billerica, Massachusetts (Principal in Charge)

Landscape architecture and civil engineering services, including a site master plan, associated with a 200 acre site.

Bentley College Feasibility Study*, Waltham, Massachusetts (Principal in Charge)

Provided feasibility studies for a 110 acre parcel as part of a larger campus master plan.

The Park School, Brookline, Massachusetts (Principal in Charge)

Provided design and construction administration for a school expansion including new entrance, playground and athletic master plan.

University of Massachusetts Residence Halls, Amherst, Massachusetts (Principal in Charge)

Master planning and first phase implementation for a new 1500-bed residence hall complex.

Boston College Master Plan, Chestnut Hill and Newton, Massachusetts (Principal in Charge)

Provided guidelines for circulation, planting, furnishings, signage and lighting in order to provide a consistent character throughout the campus. Design recommendations for the critical

areas of the Campus were also developed and the construction costs of proposed improvements were calculated.

Brattleboro Memorial Hospital*, Brattleboro, Vermont (Principal in Charge)

Master planning and phased site work for a large community hospital. The project involved complete rehabilitation of the site, new entrance and heliport.

Elliot Hospital - Optima Health Care Facility*, Manchester, New Hampshire (Principal in Charge)

Provided master planning and three phase construction implementation over a ten year period for a 300 bed community hospital. Projects included complete site redevelopment for entry, emergency room facilities, new oncology department and a heliport.

Regis College MultiGenerational Campus*, Weston, Massachusetts (Principal in Charge)

Provided master planning and permitting services for a 350 unit Continuing Care Retirement Community on the Regis College Campus.

Hartford 21*, Hartford, Connecticut (Principal in Charge)

Full landscape architectural design services for 1,300 linear feet of streetscape improvements as part of a four acre, mixed-use redevelopment.

One Brigham Circle*, Boston, Massachusetts (Principal in Charge)

Responsible for design review, client contact, city and state permitting process along with neighborhood and public participation for this mixed-use office/retail development. Site design included a 5 acre urban park.

PUBLICATIONS

"Lay of the Land" (Co-authored). *Faith & Form*, 2010.

"Putting the LID on Permitting for a Senior Living Community". *Land Developments*, 2010.

"Bridging the Generational Gap". *Urban Land*, 2008.

"The Spread of Transit-Oriented Developments" (Co-authored). *Urban Land*, 2008.

"Sustainable Strategies on Campus" (Co-authored). *College Planning & Management*, 2007.

* denotes projects completed with other firms



Gary T. Sorge FASLA, AICP

Senior Principal

Since joining Stantec in 1987, Mr. Sorge has designed, managed, and provided technical expertise on an assortment of streetscape and roadway enhancement projects. Mr. Sorge specializes in managing comprehensive design projects encompassing planning, engineering, and landscape architectural design. Recent project experience includes Jackson Avenue Streetscape, Queens, NY; midtown Manhattan streetscapes for two prominent business improvement districts; the reconstruction of Herald and Greeley Squares in Manhattan; the Waterside Village Center Streetscape Improvement Plan, Stamford, CT; and streetscape enhancements in Stratford, CT linking the railroad station to the town center and along the U.S. Route 1 corridor; and the Bryam Community Streetscape Enhancement Plan, Greenwich, CT.

EDUCATION

Bachelor of Science, Landscape Architecture, Cook College, Rutgers University, New Brunswick, New Jersey, 1986

REGISTRATIONS

Registered Landscape Architect #836, State of Connecticut

Registered Landscape Architect #001471-1, State of New York

Certified Planner #018913, American Institute of Certified Planners

Registered Landscape Architect in 5 other states.

MEMBERSHIPS

Fellow, American Society of Landscape Architects

Member, American Institute of Certified Planners

Member, Council of Landscape Architectural Registration Boards

Member, American Planning Association

PROJECT EXPERIENCE

Pleasure Beach Park, Bridgeport, Connecticut

Principal-in-Charge and Lead Designer for the master plan of the 70-acre park located on Long Island Sound off the mainland of the City of Bridgeport. Stantec is conducting ecological observations and public meetings, developing a facilities program and preparing concept alternatives for future improvements to the peninsula island park. Once a bustling amusement park area decades ago, Pleasure Beach access was severed from Bridgeport's East End after a bridge fire in 1996. Anticipating water taxi service in the near future, the master plan shall set the course for new active and passive amenities while protecting endangered and sensitive plant and wildlife species that have adapted to the beachfront and grassland habitat.

Fort Washington Park's Master Plan and Phase I, New York, New York

Principal-in-Charge for the preparation of a comprehensive master plan, phase I development and an environmental assessment of 233 acres of diverse passive and active recreation activities of a 4.2 mile linear Hudson River waterfront park. Since its initial mapping in 1894, the park has experienced significant transformation due to adjacent transportation facility construction. The study resulted in a consensus-driven Master Plan priced at \$150m. Plan refinement, community interests and available funding defined the first phase scheduled to begin construction in 2011.

Yankee Stadium Upland Improvement Project, New York, New York

Principal-in-Charge of design services for the NYCEDC Yankee Stadium Upland Improvement Project. The project includes creating two major public spaces and recreation areas including new parks on the Harlem River waterfront and on the site of the former Yankee Stadium, rejuvenating the streetscapes, and upgrading the roadway and infrastructure network associated with the new Yankee Stadium Redevelopment project. The new community parks support the resurgence of the West Bronx.

Westchester County Master Plan, Westchester County, New York

Landscape Architect for the inventory of facilities, analysis of user data and recreation trends and short- and long-term program, acquisition, management and rehabilitation recommendations for this historic and renowned 16,000-acre park system. Mr. Sorge led the golf facilities study focusing on renovation of a privately owned course as a new public facility and expansion of Mohansic Golf Course to a 27-hole layout.

Nassau County Comprehensive Plan Update, Nassau County, New York

Project Manager responsible for preparing an inventory, summary of trends, opportunities and challenges related to transportation, infrastructure, open space and recreation and energy conservation and sustainability. Our team has participated in stakeholder discussions and community and municipal forums to gather valuable background and suggestions for future plan elements. Stantec is preparing

* denotes projects completed with other firms

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Gary T. Sorge FASLA, AICP

Senior Principal

recommendations for policy change and specific actions that the County and municipalities may initiate to address traffic congestion, improve stormwater and water distribution services, expand and enhance open space, achieve reduction in carbon emissions, and conserve energy and reduce associated costs to the public and private sector.

Bridgeport Downtown Plan, City of Bridgeport, Connecticut

Project Manager for transportation and infrastructure plan for the City of Bridgeport's downtown master plan. Specific improvement recommendations centered on peak-hour parking capacity and maximizing use of existing facilities particularly during local arena events.

City of Norwalk, Downtown Master Plan, Norwalk, Connecticut

Project Manager for the traffic, infrastructure and landscape architecture components of the Downtown Master Plan in conjunction with the project team. Parking capacity, circulation, pedestrian enhancements and river corridor improvements and access were key issues addressed by Stantec.

Flowers (City) Park Master Plan and Implementation, New Rochelle, New York

Principal-in-Charge responsible for the master plan of the 20+-acre urban park and implementation of the multi-phase project. The design includes reconstruction of multiple athletic fields, new playgrounds, pathways and gathering spaces as well as parking and circulation enhancements. Stormwater measures are key elements of the design whereas Phase I implementation alone has eliminated flooding conditions via storage for over 100,000 cubic feet of stormwater volume.

Newport Development, Jersey City, New Jersey

Landscape Architect for numerous landscape architectural components of this 230-acre, mixed-use waterfront development project along the Hudson River in Jersey City, including streetscape and parking lot design, as well as the design and construction documents for the Newport Office Center, Pavonia Plaza and Marina Park.

Hutchinson River Greenway, New York, New York

Principal-in-Charge for an extension of the Hutchinson River Greenway pedestrian and bicycle path from the Pelham/Bronx Parkway to the city line just north of Pelham Bay Park. Improvements include new greenway pavement and curbs, greenway signage, pedestrian and bicycle amenities, pedestrian lighting and development of pedestrian and bicycle wayside rest areas.

Eichler's Cove Park, Newtown, Connecticut

Principal-in-Charge and Lead Designer for access, circulation, parking, pedestrian and aesthetic improvements to the Town's riverfront park, beach and boat docks. Stantec conducted a study to determine more efficient space utilization and developed a schematic plan detailing a phased improvement strategy. Stormwater control is a critical component in achieving the goals of the plan.

Lighthouse Point Park, New Haven, Connecticut

Project Manager and Lead Designer leading the site analysis, public outreach and schematic design for Lighthouse Point Park, one of the City of New Haven's premiere waterfront and most popular parks. The 75-acre site is located on New Haven Harbor and contains a beach, promenade, an historic lighthouse, a carousel and numerous buildings. In great need are improvements to circulation patterns and parking layout as well as overall aesthetic and passive recreation enhancements. Stantec's work consists of site evaluation and conducting staff and public meetings.

Spuyten Duyvil Shorefront Park, Bronx, New York

Landscape Architect responsible for the rehabilitation and reconstruction of this 6.5-acre major urban woodland park along the Harlem River. The site and the design include extensive woodlands, steep topography, a scenic overlook, streetscape improvements, stream stabilization, and open space enhancements.

Stamford Transportation Center, Stamford, Connecticut

Lead Landscape Architect for the development of the transportation center into a vital intermodal hub and a gateway to the City of Stamford. Both short and long range enhancements were considered. An objective of the plan is to encourage Transit Oriented Development (TOD) around the center. Efforts were coordinated with the Connecticut Department of Transportation, Metro-North Commuter Railroad and other operators within the transportation center. Major stakeholders within the City provided insight into the development of the plan. Evaluation of train operations, parking, pedestrian movements, vehicular traffic, surface transit, shuttle operations and overall connectivity was included.

PUBLICATIONS

"Bronx Park Improvement Project Restores Floodplain". *Land and Water*, 2006.

"Designing Smart Ponds". *Public Works*, 2005.

"Smart Ponds' Result from Proper Design and Maintenance". *Land and Water*, 2002.

* denotes projects completed with other firms

Marc Wouters RA, LEED® AP

Senior Associate



Mr. Wouters previously served as a partner at both Cooper Robertson & Partners and Torti Gallas and Partners where he led the design process for new communities, urban infill projects, new town centers, and various architectural projects including the San Ramon City Center, the Benice Village Center, the Smithsonian Institution, and the John F. Kenney Center for the Performing Arts. Projects led by Mr. Wouters have received AIA, CNU, and ULI Awards. He holds both a bachelor's and master's degree in architecture from the University of Virginia, spent time as a visiting scholar at the American Academy in Rome, and is a licensed architect in New York and Washington, DC. He also serves as an Executive Officer of the Congress for the New Urbanism New York State Chapter and was a task force member of the US Green Building Council's LEED® for Neighborhood Development program.

EDUCATION

Masters of Architecture, University of Virginia, School of Architecture, Charlottesville, Virginia, 1990

REGISTRATIONS

Registered Architect #033003, State of New York

Registered Architect #ARCH-4937, Washington, D.C. (District of Columbia)

MEMBERSHIPS

Member, United States Green Building Council, New York Chapter (Urban Green Council)

Executive Officer, CNU New York State Chapter, Congress of New Urbanism

AWARDS

2010 ULI Award, Participant Designer in Columbia Heights Master Plan

2009 CNU Charter Award, Participant Designer in Columbia Heights Master Plan

2001 CNU Charter Award, Flag House Courts

2001 AIA National Urban Design Award, Flag House Courts

PROJECT EXPERIENCE

Flag House Courts Transit-Oriented Master Plan*, City of Baltimore, Maryland

Mr. Wouters served as Design Lead for the master plan and architectural design of a 15 block area adjacent to Baltimore's Inner Harbor. The project revitalizes both a public housing project and surrounding neighborhood into a pedestrian-scaled, transit oriented community of 338 new affordable and market rate rowhouses and apartments. A restored retail street includes new live-work units. During a lengthy series of public meetings and public charrette, plans were developed with defensible

space practices. The project was a public-private partnership funded by a HUD HOPE VI Grant. The project received an AIA National Honor Award for Urban Design in 2001 and a CNU Charter Award for Urban Design in 2001.

Harborview Master Plan*, Duluth, Minnesota (Design Partner)

Harborview was a distressed public housing project in Duluth, MN. With HOPE VI funds, support of the public housing residents, local residents, City Officials, and a private developer, the site is being gradually transformed in small phases into a new mixed-income community. Through public charrettes a plan was developed that places the focus of the new community on a ball field, a central activity for many of the neighborhood's families. The adjacent main street links local institutions including a high school, day care, small stores, and community center. Streets and parks are oriented to take advantage of the great views from the site to Duluth's magnificent harbor. New homes include one, two, three, and four bedroom dwellings, a senior building, and small apartment buildings. A form-based code was prepared for the site and was adopted by the City of Duluth to guide the plan. As a Partner of Torti Gallas and Partners, Mr. Wouters served as design lead for the master plan, new homes, and form-based code.

Frederick Douglass Stanton Master Plan*, Washington, District of Columbia

The community of Henson Ridge is located on the site of the former Fredrick Douglas and Stanton public housing projects. Working with the HOPE VI Program, public housing residents, and private developers this deteriorating public housing project was transformed into a mixed-income, transit-oriented neighborhood. The plan forms a village center of town houses situated around new institutional uses and existing retail. The plan transitions in character as one walks towards the parklands at the perimeter. The formal urban architecture of the village center gives way to the more rustic architectural styles and side yard homes located at the village edge. The new community includes over 600 dwellings. Services provided on behalf of Torti Gallas and Partners, included master planning, architectural design, Planned Unit Development approvals, and community meetings.

* denotes projects completed with other firms

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Marc Wouters RA, LEED® AP

Senior Associate

Arthur Capper Carrolsburg Neighborhood*, Washington, District of Columbia (Project Architect)
Urban Revitalization plan of district adjacent to U.S. Capitol Building. Master Plan included new mixed-income housing, senior housing, and urban retail.

Tuxedo Reserve Master Plan*, Orange County, New York (Design Partner)

Tuxedo Reserve is located in the foothills of the Catskill Mountains one hour by train from New York City. Mr. Wouters served as design lead for the final master plan of this 1200ac site. The magnificent natural systems of this site were studied using field testing of animal migration patterns, plant systems, and wetlands. The studies allowed this new community of 1,195 residential units to be designed to preserve natural ecosystems to the highest extent. The resulting plan clusters homes in a series of neighborhoods and hamlets each with its own central green. A town center contains 30,000 sq feet of shops, a health club, professional offices, condominiums, and townhouses. Biofilters and rain gardens direct stormwater to recharge aquifers, and maintain the delicate water ecology. The design includes a system of "complete streets", biking trails, and educational hiking trails. A Smart Code of architectural, planning, and landscape controls was prepared with collaboration of Hall Alminana. Services also included coordination of all consultants and entitlement approvals.

Hicksville Transit-Oriented Viability Study*, Hicksville, New York (Planner)

A viability study was prepared for the area of Hicksville adjacent to the LIRR Station. The report covered issues and precedents for creating transit-oriented development and revitalizing existing business in the vicinity. The report was presented at public meetings organized by the Hicksville Chamber of Commerce.

Lexington Square*, City of Baltimore, Maryland (Design Architect and Project Manager)

Mr. Wouters directed design of this high-rise mixed-use development in the central business district of Baltimore. The development included an office, a 20-story residential tower, and large scale retail uses. The project also included protection of several historic structures.

Columbia Town Center Master Plan*, Columbia, Maryland (Project Designer and Manager)

Columbia Town Center transforms a large suburban shopping mall, its extensive parking lots, and adjacent office park into a new town center. This major retrofit of a suburban area will create new pedestrian-oriented retail main streets, mixed-use districts, and walkable residential neighborhoods. The master

plan includes 5,000,000 SF of office and retail, 5,000 residences, and a cultural center. A transit center will provide rapid bus service to major urban centers. The neighborhoods are designed with a system of "complete streets" that include biking lanes and pedestrian-oriented details. A regional ecological study informs the restoration of streams and woodlands around the site. Mr. Wouters served as Project Designer and Manager for the final phase of master plan with over 12 million sf of development. - CNU Charter Award for Urban Design in 2006.

Medical District Master Plan*, New Haven, Connecticut (Design Partner)

Mr. Wouters prepared conceptual planning for the expansion of medical institutions in the area as well as planning for new mixed-use development near New Haven's Union Station. The goal of the project was to develop guidelines for the future growth of the area that would foster growth while protecting adjacent neighborhoods.

Horizon District*, Charleston, South Carolina (Design Partner)

Charleston's Horizon District is located on a brownfield site along the Ashley River. Mr. Wouters served as Design Lead for this neighborhood of 4 million sf of residential, research office, commercial office, and retail uses. The plan connects the streets, parks, and pedestrian systems of adjacent neighborhoods through the site to the waterfront. A new retail street, adjacent to the major highway, is oriented to allow views to the Ashley River. An existing degraded wetland system through the site was restored.

PUBLICATIONS

New Sustainable Village of Benice, Prague, Czech Republic. CNU Lecture: *International Urbanism*, 2011.

LEED for Neighborhood Development. *Long Island Smart Growth Conference*, 2010.

Two CNU Charter Award Winning Suburban Retrofits. CNU Conference: *Retrofit of Suburbs*, 2010.

LEED for Neighborhood Development. *Conference on LEED for Neighborhood Development*, 2009.

Flag House Courts. *AIA National Conference*, 2001.

* denotes projects completed with other firms



R. Mark Dempf PE

Senior Principal

Mr. Dempf has nearly 25 years' experience delivering substantial expertise with all infrastructure / utility master planning, design and construction activities. Most of his recent experience has come with campus or town utility master planning for both campus-wide and town-wide facilities. The majority of these facilities include storm water, sanitary sewer, potable water, electric and gas facilities. Additional experience with the coordination of these efforts for both public and private utility companies has given him the ability to effectively and efficiently communicate utility information with clients and the public.

EDUCATION

Bachelor of Science, Civil Engineering, University of Vermont, Burlington, Vermont, 1985

REGISTRATIONS

Professional Engineer #18-0006106, State of Vermont

Professional Engineer #067234, State of New York

MEMBERSHIPS

Member, American Railway Engineering and Maintenance-of-Way Association

Member, American Water Works Association

Member, American Planning Association

Member, New York State Society of Professional Engineers

Member, National Society of Professional Engineers

Member, Institute of Transportation Engineers

Member, American Society of Civil Engineers

AWARDS

2005 American Public Works Association Capital Branch Project of the Year, Town of Westerlo, Water District No. 1 Improvements

PROJECT EXPERIENCE

Cornell University – Comprehensive Master Plan [CMP] - Utilities & Transportation, Ithaca, New York

Principal-in-Charge of the development of the utility and infrastructure portion of a Comprehensive Master Plan [CMP] for Cornell University's Ithaca campus, containing over 260 major buildings on 745-acres. Expertise and experience in the areas of utility infrastructure master planning, transportation planning, and sustainability are key aspects to understanding and addressing the immediate and future needs of the University. Responsible for the utility infrastructure master planning efforts

including identification, documentation and analysis of the overall campus potable water, sanitary sewer, storm sewer and natural gas facilities. Also, part of the overall utility master planning effort is the coordination of ongoing master planning of the steam, chilled water, condensate electrical distribution and firefighting water.

Champlain Valley Physicians Hospital – Parking Study, Plattsburgh, New York

Principal-in-Charge responsible for parking management master plan that identifies the short-term and long-term parking needs for the Champlain Valley Physicians Hospital. Work included: an assessment of existing parking conditions, a detailed inventory, an assessment of future development and the parking demand resulting from new uses and continued growth, the identification of strategies for integrating parking facilities, the investigation of outer limits for parking alternatives, the exploration of parking pricing strategies and funding options, and the development of a Final Parking Management Master Plan.

Gateway Commons Master Plan, Albany, New York

Project Manager responsible for the master plan of Henry-Johnson Boulevard Corridor in the Arbor Hill section of the City of Albany. The Henry-Johnson Boulevard Corridor is a vital link to a wider vision of the revitalization of the Arbor Hill area in Albany. The plan included a site plan, grading and drainage and utility relocations.

Parks Master Plan – Town of New Scotland, New Scotland, New York

Principal-in-Charge responsible for master planning services provided to the Town of New Scotland to develop methodologies to increase park usage and to understand their opportunities and constraints. The plan required extensive site inventory, opinion surveys of approximately 1,500 households, and interviews with town officials. The final product resulted in a detailed parcel inventory for possible additions to their park system, a trail linkage system and the location of a town recreation center.

Putnam County Bikeway III, Putnam to Brewster, New York

Principal-in-Charge responsible for the design for 4-miles of an independent bikeway on an abandoned railroad right-of-way that includes the design of five grade separation structures [3

* denotes projects completed with other firms

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R. Mark Dempf PE

Senior Principal

new construction and 2 rehabilitation) and numerous retaining walls. This project is administered by Putnam County Department of Highways and Facilities as a locally administered Federal-Aid project with New York State Department of Transportation.

Battery Park City, Manhattan, New York (Project Engineer)

Project Engineer responsible for preparation and analysis of public and private transportation systems in Lower Manhattan for a 6 million square foot mixed-use development. Analyzed the effects the development would have on the existing roadways, public transportation systems, as well as pedestrians, vehicular and subway station impacts.

Route 23A Enhancements (PIN 1755.65)

Principal-in-Charge responsible for preliminary and final design phases and construction support for streetscape improvements along NYS Route 23A. The project includes installation of period lighting, sidewalks; various landscape treatments, and utility connections. This project also includes the relocation of an existing building on the site to serve as a visitor's/interpretive center, and the placement of eight historic markers. This project is funded with TEA-21 funds, and as such, follows the federal NEPA and State SEQRA process.

East Main Street Streetscape Improvements (Principal-in-Charge)

This project included the replacement of nearly 3,000 linear feet of sidewalk and new lighting along East Main Street. The project also included the construction of 1,100 square meters of off-street parking and the addition of a small pocket park above the Catskill Creek. Stantec coordinated with utility companies to replace existing utility poles and Cobra Head light fixtures adding new poles decorative lights at a minimal additional cost to the project budget and the Village of Catskill.

Upper Madison Avenue and New Scotland Avenue Street and Sidewalk Enhancements, Albany, New York

Principal-in-Charge responsible for the design of streetscape improvements along 2,000-feet of City streets. The project entails presentations to the public, the development of concept, preliminary and final design, then contract plans and documents, and construction support/inspection services.

Bethlehem Town Center SEQRA Review, Bethlehem, New York

Town Designated Engineer (TDE) responsible for the review of the DEIS and FEIS, as well as site plan review. The review was pursuant to SEQRA regulations and focused on the potential impacts the proposed retail development may have on 22 of the

adjacent street intersections, the potential for signal coordination along Route 9W, and mitigation measures to minimize the impacts of the proposed site. Parking generation, ingress/egress and the truck traffic generated during the construction and final operation phases were elements of review.

Harriman State Office Building Campus Alternatives Analysis, Albany, New York

Project Engineer responsible for the reuse analysis of nine office buildings built in the late 1960's, a central heating and cooling plant and a substantial independent road network with parking and service facilities. The interdisciplinary consultant team prepared three alternatives and new development strategies of varying densities focusing on research and development facilities, back office computer services and expansion of academic spaces for SUNY Albany.

New York State Thruway Tandem Lot Relocation Study, Albany, New York

Project Manager responsible for the development and evaluation of alternative Tandem Lot sites to replace or enhance operations at Exit 23 and 24 Tandem Lots, and an intermodal connection to the Port of Albany. Work included an origin and destination study, alternative screening, development of conceptual replacement alternatives, preliminary alignment studies and conceptual cost estimates.

Route 9 Corridor Study, Moreau and South Glen Falls, New York

Principal-in-Charge responsible for the conceptual engineering drawings, preliminary cost estimates, and conceptual location of the R.O.W. for the Route 9 sidewalk and the Route 9 and Route 32 intersection improvement projects.

Wood Road Corridor GEIS & Northern Distributing Company EIS, Clifton Park, New York

Town Designated Engineer responsible for review of a developer prepared Generic EIS and subsequent site specific EIS for the Wood Road Corridor. Project involved development of transportation impact fee schedule for the light industrial zone of Clifton Park, which would be used to access future developments for access management improvements. Reviewed the traffic study and site development for a 4-mile road zoned for light industrial usage.

* denotes projects completed with other firms

Robert H. Cartwright PE, LEED® AP

Senior Associate



Mr. Cartwright is a Senior Associate with over 16 years' experience in site development projects. For these projects, he has been involved with the SEQRA process, hydrologic analyses, hydraulic designs for open and closed drainage systems, on-site sewage disposal systems, roadway alignments, parking lot designs, and various other design elements. He is also accomplished at communicating these efforts and study details at public information meetings, public hearings and to other interested or affected agencies.

EDUCATION

Bachelor of Science, Civil Engineering, University of Vermont, Vermont, 1992

REGISTRATIONS

LEED Accredited Professional, U.S. Green Building Council

Professional Engineer #074072-1, State of New York

MEMBERSHIPS

Member, New York State Society of Professional Engineers

Member, National Society of Professional Engineers

Member, American Society of Civil Engineers

Member, American Public Works Association

PROJECT EXPERIENCE

Quackenbush Square Enhancements, Albany, New York

Project Manager responsible for engineering and landscape architectural services for Quackenbush Square, which serves as a welcome center and gathering space for visitors and tourists to the City and is also known as "the jewel in New York's crown." Located in the center of the city and known as a quiet space between Broadway and Montgomery Street, the Quackenbush House and Albany Visitor's Center provide both a history and an orientation to City destinations. Quackenbush Square consisted of a deteriorating 1970's design that was functioning poorly as a pedestrian venue. Stantec met with potential stakeholders and local merchants to garner input for a future redevelopment of the space. The object was to engender design alternatives reflecting the décor and character of the City, yet instill a sense of its own identity through historic eclectic enhancement. Two concept plan designs (cost estimates for each) were developed for this city plaza and streetscape with material mixtures of brick, cobble, concrete and wood along with standard City outdoor furniture and lighting.

Champlain Valley Physician's Hospital – Parking Study

Project Manager responsible for parking management master plan that identifies the short-term and long-term parking needs for the Champlain Valley Physician's Hospital. Work included: an assessment of existing parking conditions, a detailed inventory, an assessment of future development and the parking demand resulting from new uses and continued growth, the identification of strategies for integrating parking facilities, the investigation of outer limits for parking alternatives, the exploration of parking pricing strategies and funding options, and the development of a Final Parking Management Master Plan.

Route 12 Corridor Improvements (PIN 9016.42), Norwich, New York

Project Manager responsible for the repaving of 1.5 miles of NYS Route 12 through the central business district of Norwich. The project included the milling and replacement of existing asphalt concrete with Superpave, new decorative medians/crosswalks, and select areas of curb replacement. Specific project tasks include survey and mapping of the corridor, development of a design approval document (including the NEPA checklist) and contract plans, specifications and estimate, public informational meeting. All work along this New York State highway was developed by the City of Norwich under the "reverse betterment" process. As such, the project design was designed in accordance with all Department of Transportation requirements.

Route 23A Rehabilitation (PIN 1124.38.101), Hunter, New York

Project Manager responsible for the design of the rehabilitation of NYS Route 23A, which included new closed drainage systems, slope stabilization, new water distribution system, and full depth pavement reconstruction. Two large culverts under Route 23A were analyzed to determine if they were able to accommodate design flows. Other aspects of the project included sidewalk and streetscape improvements, as well as stabilization of the Schoharie Creek bank. A design report, NEPA checklist, contract plans, specifications and estimate were prepared. The project to improve this state roadway was administered by the Village of Hunter, which is a "reverse betterment" project. Under this scenario, all of the work performed by the Village had to meet the requirements of the Department of Transportation.

* denotes projects completed with other firms

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Robert H. Cartwright PE, LEED® AP

Senior Associate

Route 23A Enhancements (PIN 1755.65), Hunter, New York

Project Manager responsible for the preliminary and final design phases and construction support for streetscape improvements along NYS Route 23A. The project included installation of decorative lighting, sidewalks, parking lots, various landscape treatments, and utility connections. This project also included the relocation of an existing building on the site to serve as a visitor's/interpretive center, the rehabilitation of this building, and the placement of eight historic markers. This project was funded with TEA-21 funds, and as such, follows the federal NEPA and State SEQRA process.

Madison Avenue and New Scotland Avenue Street and Sidewalk Enhancements, Albany, New York

Senior Project Engineer responsible for the design of streetscape improvements along 2000 feet of urban corridors. Amenities included in the design included decorative streetlights, a new traffic signal, curb, sidewalks and brick paver strips, and landscaping, including two pocket parks. The project entails presentations to the public, the development of contract plans and documents, and construction support and inspection services.

Champlain Valley Physician's Hospital – Site Improvements

Project Manager responsible for the development of plans, details and specifications required for the hospital to construct a new Medical Arts Building, a 260 car surface parking lot and an addition to the front of the Champlain Valley Physicians Hospital to expand the surgery area. Items addressed include new storm sewer systems, patient/visitor drop-off areas, reconfigured driveways and parking areas, landscaping and lighting. Work also included obtaining variances from the Zoning Board and site plan approval from the Planning Board.

Route 9 Corridor Study, Moreau and South Glen Falls, New York

Senior Project Engineer responsible for the development of conceptual engineering drawings, preliminary cost estimates, and conceptual location of the R.O.W. for the Route 9 sidewalk and the Route 9 and Route 32 intersection improvement projects.

New York State Thruway Truckers Services and Tandem Lot Relocation Study, New York

Project Manager responsible for a study that identifies potential relocation sites for four tandem lots and a commuter lot and develops recommendations to improve trucker services offered along the Thruway. Specific tasks include the environmental

screening of potential relocation sites, development of an origin-destination summary to determine potential mileage impacts to trucking firms, inventories to determine existing usage patterns at travel plazas and tandem lots, interviews with trucking firms to determine their usage of existing tandem lots and their opinions regarding trucker services.

Bennington Bypass, Bennington, Vermont

Project Engineer responsible for preparation of Preliminary and Final Hydrologic and Hydraulic studies and reports for six (6) major culverts and two (2) bridges. Hydrologic models approved by the Agency of Transportation were used to develop design flows for this crossing. Water surface profiles were prepared for the bridge crossings and headwater analyses were prepared for the culverts.

Mabey's Moving and Storage Traffic Study, Rensselaer, New York

Project Manager responsible for this study, which included the determination of peak hour volumes sight distances for exiting vehicles and analysis of ingress and egress movements for semi-trailers using the site.

Route 4 Corridor Study (D260128; PIN1089.57), Kingsbury, New York

Project Manager responsible for the preparation of a construction cost estimate for areas of improvements along NYS Route 4 through the Washington County communities of the Town and Village of Fort Ann, Town and Village of Whitehall, Town of Kingsbury and Town of Hampton. Roadway improvements included the construction upgrade of sidewalks, realignment of a "Y" intersection, Route 4/Route 149 Bypass and the installation of median gateways.

South Albany Water and Sewer District Improvements, Bethlehem, New York

Project Manager responsible for the preliminary design of municipal water and sanitary sewer replacement for an aged 19-lot subdivision in the Town of Bethlehem, Albany County. The existing sanitary collection system was found to have unacceptable levels of groundwater infiltration and resulting violations of its SPDES discharge permit. The watermain was also found to have excessive leaks. Stantec assisted the Town with developing the preliminary engineering design and cost estimates. Recognizing that the cost would be unaffordable without financial assistance, the Town and Stantec pursued and obtained \$318,000 in grant money from the Governor's Office for Small Cities, Community Development Block Grant Program. Simultaneous with Small Cities Grant Application, the Town and Stantec were successful in obtaining \$200,000 in zero-percent interest loans from the Clean Water State Revolving Fund for the sanitary sewer portion of the project.

* denotes projects completed with other firms

Larry Weeks BA

Associate, Senior Designer



Larry Weeks is a Senior Architectural Designer at Stantec. He has extensive national and international experience in the fields of architectural, interior and environmental design, focusing primarily on the mixed-use, retail, entertainment, and resort industries. He has been the recipient of many design awards from design organizations around the U.S. His work has been published in several books, magazines and journals. He has also served as instructor at the University of Colorado and the Art Institute of Colorado.

EDUCATION

Bachelor of Architecture, Auburn University, Oxford, Alabama, 1989

AWARDS

2010 ICSC US RECON Future of Retail Competition, First Place General Brilliance

2009 ICSC US and Latin American RECON Future of Retail Competition, Honorable Mention

PROJECT EXPERIENCE

Interlocken*, Broomfield, Colorado

Gurnee Mills*, Gurnee, Illinois

Hartland Plaza*, Austin, Texas

West Georgia Commons*, Atlanta, Georgia

Colorado Pavilions*, Denver, Colorado

Franklin Mills*, Philadelphia, Pennsylvania

Presentonwood*, Dallas, Texas

Fashion Place*, Salt Lake City, Utah

Pearl Ridge Mall*, Honolulu, Hawaii

Peaberry Coffee*, Boulder, Colorado

Buckhead Streetscape*, Atlanta, Georgia

The Garden Grocery*, Tokyo, Japan

BurJuman Center*, Dubai, UAE

Beijing Oriental Plaza*, Beijing, China

Diera City Centre*, Dubai, UAE

Beverly Center*, Los Angeles, California

Koelbel Castle*, Denver, Colorado

Hamilton Place*, Chattanooga, Tennessee

Stampede Trail*, Calgary, Alberta

Currents*, Edmonton, Alberta

Peachtree Center*, Atlanta, Georgia

Ellerslie*, Edmonton, Alberta

Vail Associates*, Vail, Colorado

Playa Cristal Resort*, Key Largo, Florida

Schaden Residence*, Old Fort Bay, Bahamas

Universal Studios CityWalk*, Hollywood, California

Paramount's Drop Zone*, Santa Clara, California

Harley Davidson Museum*, Milwaukee, Wisconsin

Illusionz Family Entertainment Center*, Seattle, Washington

IFly*, Denver, Colorado

Miami International Airport*, Miami, Florida

San Jose Airport*, San Jose, California

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